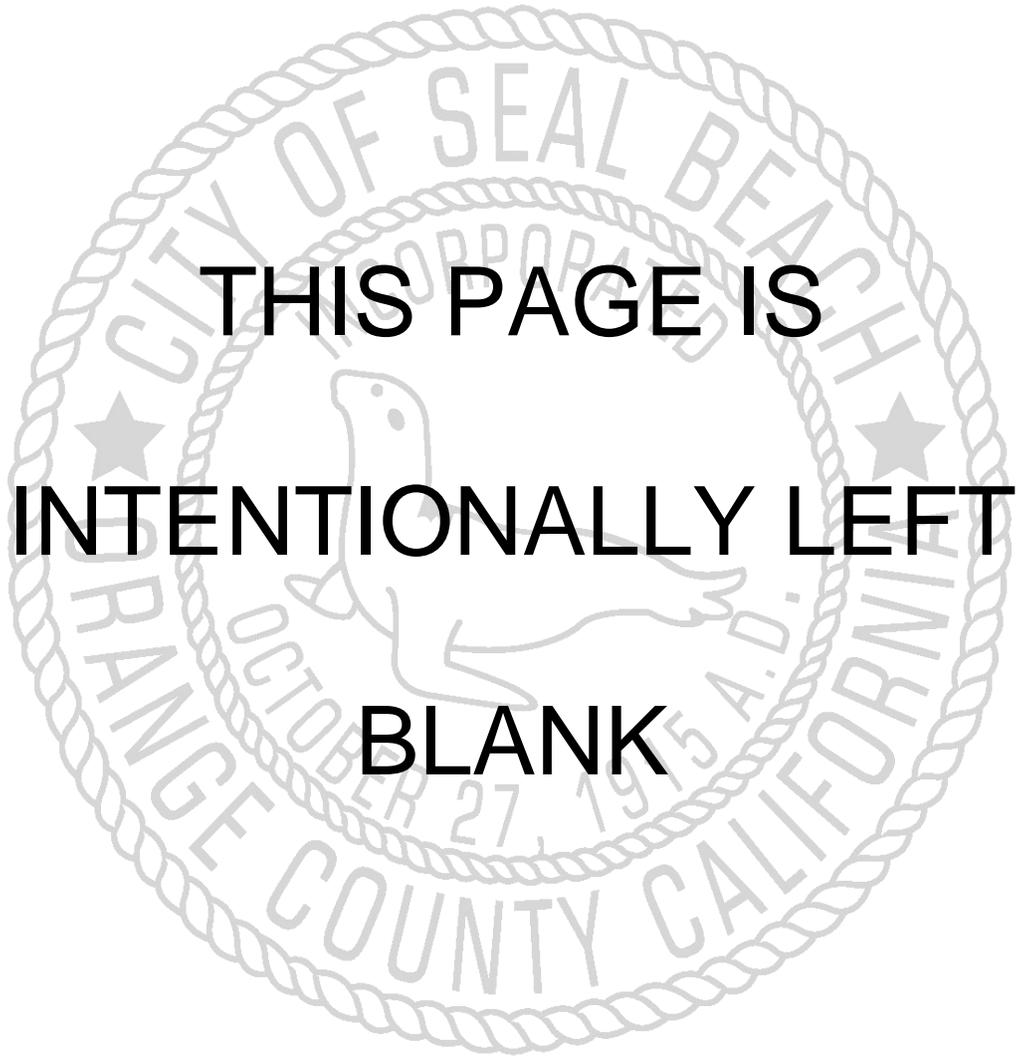


# TITLE 11: ZONING

## PART II: GENERAL PROVISIONS

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## Chapter 11.2.05 Residential Districts

### § 11.2.05.005      **Applicability.**

The provisions of this Chapter are applicable to the following Zoning Code district designations:

RLD: Single-Unit Residential. To allow single-unit and small, zero-lot line neighborhoods at a base density of up to 15 dwelling units per net acre.

RMD: Medium-Density Residential. To allow duplexes, townhouse projects, apartments, and small-lot, single-unit residential uses, at a density of 15 to 18 dwelling units per net acre. Additional density may be achieved through density bonuses.

RHD: High-Density Residential. To allow for multi-unit residential developments at a base density of 20 to 46 dwelling units per net acre. Additional density may be achieved through density bonuses.

### § 11.2.05.010      **Land Use Regulations.**

Table 11.2.05.010: *Use Regulations – Residential Districts*, prescribes the land use regulations for residential districts. The regulations for each district are established by letter designations as follows:

“**P**” – Uses permitted as-of-right that require no discretionary review if in compliance with all standards.

“**L**” – Uses permitted as-of-right subject to Limitations restricting location, size, or other characteristics to ensure compatibility with surrounding uses. Limitations are referenced by number designations listed at the end of Table 11.2.05.010.

“**M**” – Uses subject to a Minor Use Permit following discretionary review by the Planning Commission pursuant to Chapter 11.5.20: *Development Permits*.

“**C**” – Uses subject to a Conditional Use Permit following discretionary review and public hearing by the Planning Commission pursuant to Chapter 11.5.20: *Development Permits*.

“**-**” – Uses that are not permitted.

The “*Additional Regulations*” column includes specific regulations applicable to the use classification, located elsewhere in this Zoning Code. Use classifications are defined in Chapter 11.4.85: *Use Classifications*. Use classifications not listed in Table 11.2.05.010: *Use Regulations – Residential Districts*, are prohibited.

**Table 11.2.05.010  
USE REGULATIONS - RESIDENTIAL DISTRICTS**

	RLD	RMD	RHD	Additional Regulations
<b>Residential Use Types</b>				
Single-Unit Residential	P	P	P	See Section 11.4.05.100
Second Unit	P	P	P	See Section 11.4.05.115
Two-Unit Residential (Duplex)	--	P	P	
Multiple-Unit Residential	--	P	P	See Section 11.4.05.110
Family Day Care				
<i>Small Family</i>	P	P	P	
<i>Large Family</i>	C	C	C	See Section 11.4.05.045.B
Group Housing	--	--	M	
Senior Citizen Housing (Ord 1627)	P	P	P	See Section 11.4.05.125
Single Room Occupancy (Ord 1627)	--	--	C	See Section 4.05.127
<b>Public, Semi-Public, and Service Use Types</b>				
Clubs and Lodges	--	--	C	See Section 11.4.05.080
Community Centers	C	C	C	
Community Social Service Facilities	--	--	C	
Day Care Center	--	--	C	See Section 11.4.05.045.C
Hospitals and Clinics				
<i>Hospitals</i>	--	--	--	
<i>Clinics</i>	--	--	--	
Park and Recreation Facilities	M	M	M	
Public Safety Facilities	M	M	M	
Religious Facilities	C	C	C	See Section 11.4.05.080
Residential Care Facilities				See Section 11.4.05.105
<i>Residential Care, General</i>	--	--	C	See Section 11.4.85.020.N
<i>Residential Care, Limited</i>	P	P	P	See Section 11.4.85.020.N

<b>Table 11.2.05.010</b>				
<b>USE REGULATIONS - RESIDENTIAL DISTRICTS</b>				
	<b>RLD</b>	<b>RMD</b>	<b>RHD</b>	<b>Additional Regulations</b>
<i>Residential Care, Senior</i>	--	--	C	See Section 11.4.05.125
Schools, Public or Private	L-1	L-1	L-1	See Section 11.4.05.080
<b>Commercial Use Types</b>				
Bed and Breakfasts	--	--	C	See Chapter 11.3.05
Food and Beverage Sales				
<i>General Market</i>	--	--	L-2	
Home Improvement Sales and Services	--	--	L-2	
Personal Services	--	--	L-2	
Retail Sales	--	--	L-2	
<del>Vacation Rentals</del> Short Term Rental of Residentially Zoned Property (Ord 1624)	--	--	--	See Section 11.4.05.135
<b>Transportation, Communication, and Utility Use Types</b>				
Communication Facilities				See Chapter 11.4.70
<i>Antennae and Transmission Towers</i>	C	C	C	
<i>Satellite Dishes less than 39" in diameter</i>	P	P	P	
Utilities, Minor	P	P	P	
<b>Other Applicable Use Regulations</b>				
Accessory Use	See Section 11.4.05.100			
Home Occupations	P	P	P	See Section 11.4.05.060
Nonconforming Use	See Chapter 11.4.40: <i>Nonconforming Uses, Structures, and Lots</i>			
Temporary Use	See Chapter 11.5.25: Director Determinations			
L-1: Public schools are permitted in all districts without City review; private schools require Conditional Use Permit approval pursuant to Chapter 11.5.20: <i>Development Permits</i> .				
L-2: Must be on the ground floor in a multi-unit development of 150 units or more and must be less than 1,500 square feet in floor area. Larger size facilities require Conditional Use Permit approval pursuant to Chapter 11.5.20: <i>Development Permits</i> .				

**§ 11.2.05.015 Development Standards.**

Table 11.2.05.015: *Development Standards for Residential Districts*, prescribes the development regulations for residential districts, including lot dimensions, building form and location, pedestrian orientation, vehicle accommodation and other standards. The “*Supplemental Regulations*” column indicates more detailed explanations or regulations that follow the table (by letter designation) or that are located elsewhere in this Zoning Code. The designations “RLD-9” etc. indicate the base residential district designation and the maximum number of residential units allowed per net acre.

TABLE 11.2.05.015 DEVELOPMENT STANDARDS FOR RESIDENTIAL DISTRICTS							
	<i>RLD-9</i>	<i>RLD-15</i>	<i>RMD-18</i>	<i>RHD-20</i>	<i>RHD-33</i>	<i>RHD-46</i>	<i>Supplemental Regulations</i>
<b>Density/Intensity of Use – Lot Dimensions</b>							
Maximum Density	One unit per 5,000 sq. ft. of lot area, plus a “Second Unit”	One unit per 3,000 sq. ft. of lot area, plus a “Second Unit”	One unit per 2,500 sq. ft. of lot area	One unit per 2,178 sq. ft. of lot area	One unit per 1,350 sq. ft. of lot area	One unit per 960 sq. ft. of lot area	See Section 11.4.05.115 for Second Dwelling Unit standards. See Subsection A for Surfside Standards
<i>Maximum Density with State Affordable Housing Bonus (du/ac)</i>							See Chapter 11.4.55: <i>Affordable Housing Bonus</i>
Minimum Lot Area (sq. ft.)							
Interior Lots	5,000	3,000	5,000	2,500	5,000	5,000	
Corner Lots	5,500	3,000	5,500	2,500	5,500	5,500	
<i>Nonresidential Uses</i>	10,000	10,000	10,000	10,000	10,000	10,000	
Minimum Lot Size (ft.)							
Interior Lots	50 x 100	30 x 80	50 x 100	25 x 100	50 x 100	50 x 100	
Corner Lots	55 x 100	35 x 80	50 x 100	25 x 100	55 x 100	55 x 100	
Minimum Floor Area (sq. ft.)							
<i>Primary Dwelling Unit</i>	1,200	1,200 (E)	950	950	950	950	L-1
<i>Efficiency Second Unit</i>	150	150	150	150	150	150	L-1
<i>1-Bedroom Second Unit</i>	400	400	400	400	400	400	L-1

TABLE 11.2.05.015 DEVELOPMENT STANDARDS FOR RESIDENTIAL DISTRICTS							
	<i>RLD-9</i>	<i>RLD-15</i>	<i>RMD-18</i>	<i>RHD-20</i>	<i>RHD-33</i>	<i>RHD-46</i>	<i>Supplemental Regulations</i>
<b>Density/Intensity of Use – Lot Dimensions (continued)</b>							
Maximum Floor Area for Second Units							
<i>2+-Bedroom Second Unit</i>	600	600	600	--	--	--	
Maximum Floor Area for Second Units							
<i>Detached Second Unit</i>	800 sq. ft	800 sq. ft	800 sq. ft	--	--	--	
<i>Attached Second Unit</i>	30% of primary unit	30% of primary unit	30% of primary unit	--	--	--	
Maximum Lot Coverage (%)	(B)	67	50	75 (B)	60	80	(B)
Substandard Lot Standards	Yes	Yes	Yes	Yes	Yes	Yes	(C)
<b>Building Form and Location</b>							
Minimum Yards (ft.)							
<i>Front – Minimum</i>	(D)	(E)	Average 12; Minimum 6	Average 12; Minimum 6	18	18	(D)(E); L-3
<i>Interior Side – Minimum</i>	(D)	(E)	10% of lot width; 3 ft. minimum; 10 ft. maximum	10% of lot width; 3 ft. minimum; 10 ft. maximum	10% of lot width; 5 ft. minimum; 10 ft. maximum	10% of lot width; 5 ft. minimum; 10 ft. maximum	(D)(E)
<i>Corner Side – Minimum</i>	15% of lot width; 10 ft. maximum	(E)	15% of lot width; 10 ft. maximum	15% of lot width; 10 ft. maximum	15% of lot width; 10 ft. maximum	15% of lot width; 10 ft. maximum	(E)
<i>Rear</i>	10	(E)	5 ft.; but when abutting an alley 24 ft. minus width of the alley.	24 ft. minus width of the alley.	24 ft. minus width of the alley.	18	(E)
<b>Main Building Envelope</b>							
Flood Zone Heights	Yes	Yes	Yes	Yes	Yes	Yes	(F)
Maximum Height (ft.)	25 (G)	25 (E)	(G)	25	35	35	(G) (E)
Maximum Height of Downslope Skirt Walls (ft.)	6	6	6	6	6	6	(H)
Projections	Yes	Yes (E)	Yes	Yes	Yes	Yes	(I) (E)

TABLE 11.2.05.015 DEVELOPMENT STANDARDS FOR RESIDENTIAL DISTRICTS							
	<i>RLD-9</i>	<i>RLD-15</i>	<i>RMD-18</i>	<i>RHD-20</i>	<i>RHD-33</i>	<i>RHD-46</i>	<i>Supplemental Regulations</i>
<b>Main Building Envelope</b>							
Minimum Distance Between Buildings on the Same Lot (ft.)	6	6	6	6	6	10-20	(J)
Minimum Court Dimensions (ft.)	--	--	--	--	15	15	
<b>Building Design</b>							
Exterior Stairways Prohibited	Yes	Yes	Yes	Yes	No	No	L-2
Porches	Yes	--	--	Yes	--	--	(K)
<b>Vehicle Accommodation</b>							
Off-Street Parking and Loading	See Chapter 11.4.20: <i>Off-Street Parking and Loading</i>						
Maximum Number of Curb Cuts for Driveway	1 (L)	1	1	1	1	1	(L)
Maximum Width of Driveway (ft.)	18	--	--	--	--	--	(M)
Limitations on Parking and Garage Frontage	Yes	Yes	Yes	Yes	Yes	Yes	(N)
<b>Landscaping and Open Space</b>							
Minimum Permeable Surface/Maximum Paving in Street – Facing Yards (%)	60/50	60/50	60/50	60/50	60/50	60/50	(O)
Minimum Site Area Devoted to Landscaping (%)	25	15 (E)	15	Yes	15	15	(E), (P); See also Section 11.4.30.015
Planting Required on Downslope Lots	Yes	Yes	Yes	Yes	Yes	Yes	(Q)
Pedestrian Walkways	--	--	Yes	Yes	Yes	Yes	(R)
<b>Other Development Standards</b>							
Accessory Structures	Yes	Yes	Yes	Yes	Yes	Yes	See Section 11.4.05.100
2-Story Cabanas/Manufactured Homes	--	--	--	--	Yes	--	(S)
Roof Decks	Yes	--	Yes	Yes	Yes	Yes	(T)
Solar Access	Yes	Yes	Yes	Yes	Yes	Yes	See Section 11.4.10.045

TABLE 11.2.05.015 DEVELOPMENT STANDARDS FOR RESIDENTIAL DISTRICTS							
	<i>RLD-9</i>	<i>RLD-15</i>	<i>RMD-18</i>	<i>RHD-20</i>	<i>RHD-33</i>	<i>RHD-46</i>	<i>Supplemental Regulations</i>
<b>Other Development Standards (continued)</b>							
Walls and Fences	Yes	Yes	Yes	Yes	Yes	Yes	See Chapter 11.4.15
<i>General Site Standards</i>	See Chapter 11.4.10: <i>General Site Standards</i>						
Landscaping and Buffer Yards	See Chapter 11.4.30: <i>Landscaping and Buffer Yards</i>						
Signs	See Chapter 11.4.25: <i>Sign Regulations</i>						
Non conforming Structures	See Chapter 11.4.40: <i>Nonconforming Uses, Structures, and Lots</i>						
Coastal Development Permit	See Chapter 11.4.35: <i>Coastal Development Permit</i>						
Reasonable Accommodations	See Chapter 11.5.30: <i>Reasonable Accommodations</i>						
L-1: Second Units are not allowed in the RHD-20 District located in Old Town.							
L-2: Exterior stairways providing access from the ground level and/or the first floor to the second floor or above are prohibited when such stairways are not specifically required by the California Building Code. Exterior stairways may be permitted through the building permit process in the RLD-9 district on properties with a second story kitchen existing as of March 9, 1998. In such a case, a covenant shall be recorded on the title of the property stipulating the property is to be used only as a Single-Unit dwelling. <u>Exception</u> : Exterior stairways may be permitted on Single-Unit dwellings located within identified flood zones upon approval of a Minor Use Permit pursuant to Chapter 11.5.20: <i>Development Permits</i> .							
L-3: Refer to Appendix A – City Council Approved Blanket Setback Variances							

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**A. Standards for Surfside.**

1. Yard Requirements. Yard requirements for Surfside are set forth in Table 11.2.05.015.A.1: Surfside Yard Requirements.

<b>TABLE 11.2.05.015.A.1 SURFSIDE YARD REQUIREMENTS</b>			
	<b>“A” Row</b>	<b>“B” Row</b>	<b>“C” Row</b>
Front Yard	4 ft.	2.5 ft.	2.5 ft. (L-1)
Side Yard	10% lot width, minimum 3 ft. - maximum 10 ft. (L-2)		
Rear Yard	--	3 ft. (L-3)	3 ft.
(L-1) Upper stories may cantilever to the property line			
(L-2) "A" Row. A stairway and elevated walkway not to exceed two and one-half feet above grade are permitted to encroach three feet into the side yard setback on the northwest side. If a residentially zoned parcel is located to the northwest of a colony pedestrian easement and abuts such easement, a stairway and walkway may be constructed on either the southwest or northwest side of a residential structure.			
(L-3) On Lot B-1 through B-70 the upper stories may cantilever to the rear property line			

2. Projections into Side Yards. Cornices, eaves or chimneys may project 1 foot into required side yards beginning above the first story and in no case less than 8 feet above grade.

3. Building Height Limit. Maximum building height for residential structures, including Second Dwelling Units, shall be 35 feet, as measured from the crown of Surfside Avenue at the center of the subject property.

4. Minimum Unit Size. Minimum unit size is set forth in Table 11.2.05.015.A.4: Surfside Minimum Unit Sizes:

<b>TABLE 11.2.05.015.A.4 SURFSIDE MINIMUM UNIT SIZES</b>	
<b>Unit Type</b>	<b>Minimum Unit Size (sq. ft.)</b>
Primary dwelling unit	750
Efficiency Second Dwelling Unit	150
1-Bedroom Second Dwelling Unit	400
2 or more Bedroom Second Dwelling Unit	600

5. Parking Requirements. See Chapter 11.4.20: Off-Street Parking and Loading.

6. Non-Habitable Architectural Features.

a. Non-habitable architectural features, such as spires, towers, cupolas, belfries, monuments, parapets (not required by Uniform Building Code), domes and covered access to open roof decks may exceed the height limit established pursuant to Section 11.2.05.015.A.3 a maximum of 7 feet if granted pursuant to the procedures contained in this section.

b. Permit Requirement. Minor Use Permit approval pursuant to Chapter 11.5.20: Development Permits is required for all non-habitable architectural features above the established height limit.

c. Considerations for Approval of a Minor Use Permit. In making the findings required for the approval of a Minor Use Permit pursuant to Chapter 11.5.20: Development Permits, the following additional issues shall also be considered.

i. Whether such variation is appropriate for the architectural style of the building.

(a) Whether all roofing materials of a covered stairwell to an open roof deck are in substantial conformity with the roofing materials of the remainder of the structure.

(b) Whether a covered stairwell to an open roof deck is located along peripheral exterior walls of the structure.

(c) Whether a covered stairwell to an open roof deck is limited to the minimum area, both horizontally and vertically, necessary to cover the stairwell.

ii. Whether such variation is appropriate for the character and integrity of the neighborhood.

iii. Whether such variation significantly impairs the primary view from any property located within 300 feet.

iv. Detailed and complete plans for the proposed work.

7. General Requirements.

a. Lot coverage. Lot coverage is determined by the required setbacks as set forth in Table 11.2.05.015.A.1: Surfside Yard Requirements.

b. Lot area per dwelling unit. No minimum lot area per dwelling unit is required provided all parking requirements are met.

c. Zero Side Yards. Upon the issuance of a Conditional Use Permit pursuant to Chapter 11.5.20: Development Permits, 2 lots with a common side yard may be developed incorporating a zero side yard setback on the common side yard provided:

i. Both lots are developed concurrently and that the units are of compatible design;

ii. An equal or greater amount of open space is provided on each lot than would be provided by the required conventional setbacks.

d. Stairways, Balconies and Patio Decking. Stairways, balconies or patio decking may encroach into the Surfside Colony leased land southwest of Block "A" as set forth below:

i. First floor - 10 feet with glass deck enclosure. An additional projection of 3 feet is permitted for required stairways from second floor balconies or landing areas, not to exceed a length of 10 feet;

ii. Second Floor – 5 feet; or 10 feet if the first floor deck is then restricted to 5 feet in depth with a 5-foot high glass enclosure or first floor is an on-grade patio extension to a maximum of 10 feet with no enclosure;

iii. Roof projection/sunscreen - 5 feet;

iv. Decks must have guard rails installed as required by the California Building Code. On the first or second floor deck, a glass enclosure may be added. The glass enclosure shall not exceed 5 feet, measured from the finished floor of the deck. No glass panel shall be less than 3 feet by 3 feet. All glass above the required guard rails shall be clear, un-tinted glass. No portion of the glass enclosure shall be covered or roofed in any manner.

e. Minimum Lot Size: Block B. The minimum lot size for Block B, Anderson Street (Lot 1) northwesterly to Seal Way (Lot 70) is 25 feet by 60 feet.

f. Required Submittals for Issuance of Building Permit.

The City shall require the following of any applicant prior to the issuance of any building permits for construction on "A" Row, "B" Row, "C" Row, or Surfside Colony leased land:

- i. Surfside Colony lease for use of Surfside Colony owned land;
- ii. Excavation deposit release from Surfside Colony;
- iii. Street security deposit release from Surfside Colony.

g. Non-conforming Building Expansions. General

renovation and structural additions to non-conforming buildings may be approved by the issuance of a Conditional Use Permit pursuant to Chapter 11.5.20: Development Permits, provided:

- i. No bedrooms or other living quarters are being added;
- ii. The only rooms being added are bathrooms, storage closets, closets or enlargements of existing rooms;
- iii. The building provides at least 1 conforming parking space.
- iv. General renovation and structural additions to nonconforming buildings which are nonconforming only due to inadequate setbacks may be approved pursuant to Chapter 11.4.40: Nonconforming Uses, Structures, and Lots, Section 11.4.40.020: Structural Alterations or Additions to Single Unit Residences Require a Conditional Use Permit (All Residential Districts).

**B. Maximum Lot Coverage**

1. RLD-9 District. In the RLD-9 District the maximum lot coverage is 45%, with an additional 5% lot coverage permitted for patio covers that are at least 50% open. The RLD-9 area along Ocean Avenue, between First Street and Eighth Street, is permitted 60% lot coverage.

2. RHD-20 District, Old Town. In the RHD District, Old Town, the maximum lot coverage is as set forth in Table 11.2.05.015: Development Standards for Residential Districts. Provided below are the allowable lot

coverage for standard size, interior lots, with a 15-foot alley in Old Town, based on a minimum 6-foot front yard in accordance with the average setback provisions applicable to this District, and a maximum allowable 4.5-foot second-story overhang. Please contact the Planning Department to confirm the maximum lot coverage allowable pursuant to Table 11.2.05.015: Development Standards for Residential Districts.

	Lot Size			
	25' x 100'	37.5' x 100'	25' x 117.5'	37.5' x 117.5'
Minimum Front Yard	6'	6'	6'	6'
Maximum 2nd Story Overhang	4.5'	4.5'	4.5'	4.5'
Minimum Side Yard	3'	3.75'	3'	3.75'
Maximum Allowable Building Coverage Area	89.5' x 19'	89.5' x 30'	107' x 19'	107' x 30'
Total Lot Area	2,500 sq. ft.	3,750 sq. ft.	2,937.5 sq. ft.	4,406.25 sq. ft.
Maximum Lot Coverage	68.02%	71.6%	69.2%	72.85%

C. Substandard Lots. Any lot or parcel of land of less area or width than that required by the regulations for the district in which it is located may be used as a building site only if it was a lot of record in accordance with Table 11.4.40.065: Minimum Legal Area and Dimensions of Lots of Record, subject to the following standards:

1. Required Improvements. All lots adjoining a public right-of-way shall install all required improvements in compliance with applicable development standards and use regulations, unless the Planning Commission approves a variance or waiver in accordance with the provisions of this Zoning Code.

2. RLD District. No building, other than a single unit home, shall be constructed on any building site in the RLD district containing less than 5,000 square feet of area.

3. RMD and RHD Districts. No building, other than a single unit home, may be constructed on any building site in the RMD and RHD districts containing less than the required minimum lot area, unless the minimum lot area would allow for more than 1 unit and all applicable development standards can be met.

D. **RLD-9 District - Minimum Front and Interior Side Yards.** In the RLD-9 District the minimum front and interior side yards are:

1. Front Yard. In the RLD-9 District the minimum front yard is 18 feet for a front entry garage and 10 feet for a side entry garage except for the RLD-9 District area along Ocean Avenue between First Street and Eighth Street, which is not allowed side entry garages.

2. Interior Side Yard. In the RLD-9 District the minimum interior side yard is 10 percent of lot width with a minimum 5 feet except for the RLD-9 District area along Ocean Avenue between First Street and Eighth Street, which has a 10 percent of lot width interior side yard setback and a minimum interior side yard of 3 feet.

**E. RLD-15 District Development Standards.** The development standards for the RLD-15 District are set forth in Table 11.2.05.015.E.1: Specific Tract Development Standards, Tract 6345, Table 11.2.05.015.E.2: Specific Tract Development Standards, Tract 6346, and Table 11.2.05.015.E.3: Specific Tract Development Standards, Tract 9814.

1. Architectural Committee Approval Required. The City shall not review any plans for a building, fence, wall, swimming pool or structure until an approved building plan approved by the appropriate Architectural Committee for those tracts within the RLD-15 District that have an legally constituted Architectural Committee, as has been submitted to the City.

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**TABLE 11.2.05.015.E.1**  
**RLD-15 DISTRICT - SPECIFIC TRACT DEVELOPMENT STANDARDS**  
**TRACT 6345**

Development Standard	Required Standard
Building Setbacks:	
Front Yard: First Floor	6 feet – Lot 30 and 31.
	8 feet – All remaining lots.
Front Yard: Second Floor	50 feet.
Rear Yard	2 feet.
Interior Side Yard	6 feet on one side – opposite side yard is 0-foot minimum setback.
Street Side Yard	3 feet.
Maximum Height Limit:	25 feet overall – 10 feet at Zero Side Yard for single story portion of residential structure, 12 feet at Zero Side Yard for two-story portion of residential structure.
Number of Stories:	2-Story Lots – Maximum of 24 lots.
Allowable Floor Areas:	
First Floor	1,250 square feet minimum.
Second Floor	300 square feet minimum; 800 square feet maximum.
Fence Height:	3 feet in front yard setback area.
	8 feet outside of front yard setback area.
Projections:	
Chimney	2 feet into required interior side yard: not exceeding 6 feet in length (Chimney projection not allowed in front, rear, or exterior side yard).
Roof eaves – Rear Yard	1 foot into public alley (includes garage door in open position).
Required landscaping:	40% of required Front Yard.
Patio Covers:	Not permitted in front, rear, or side yard setback area.

**TABLE 11.2.05.015.E.2**  
**RLD-15 DISTRICT - SPECIFIC TRACT DEVELOPMENT STANDARDS**  
**TRACT 6346**

Development Standard	Required Standard
Building Setbacks:	
Front Yard: First Floor	8 feet – All lots except Lots 1 and 6.
	7 feet – Lot 1; 4 feet – Lot 6.
Front Yard: Second Floor	50 feet.
Rear Yard	2 feet.
Interior Side Yard	6 feet.
Opposite Side Yard	0 feet.
Street Side Yard	3 feet.
Height Limit:	25 feet overall – 10 feet at Zero Side Yard for single story portion of residential structure, 12 feet at Zero Side Yard for two-story portion of residential structure.
Number of Stories:	2-Story Lots – Maximum of 38 lots.
Allowable Floor Areas:	
First Floor	1,250 square feet minimum.
Second Floor	300 square feet minimum; 800 square feet maximum.
Fence Height:	3 feet in front yard setback area.
	8 feet outside of front yard setback area.
Projections:	
Chimney	2 feet into required interior side yard: not exceeding 6 feet in length (Chimney projection not allowed in front, rear, or exterior side yard).
Roof eaves – Rear Yard	1 foot into public alley (includes garage door in open position).
Required landscaping:	40% of required Front Yard.
Patio Covers:	Not permitted in front, rear, or side yard setback area.

**TABLE 11.2.05.015.E.3  
RLD-15 DISTRICT - SPECIFIC TRACT DEVELOPMENT STANDARDS  
TRACT 9814**

<b>Development Standard</b>	<b>Required Standard</b>
Building Setbacks:	
Front Yard: First Floor	12 feet – Lot 1, 4, 6, 9, 15, 17, 20, 24, 25, 27, 29, 31, 33.
	10 feet – Lot 2, 5, 8, 10, 12, 16, 19, 21, 23, 26, 30.
	8 feet – Lot 3, 7, 11, 13, 14, 18, 22, 28, and 32.
	6 feet – Lot 34, 35.
Front Yard: Second Floor	30 feet except as follows:
	20 feet – Lot 13, 34, 35.
Rear Yard	2 feet – Lots 1 through 24.
	8 feet – Lots 25 through 35.
Interior Side Yard (Southwesterly Side)	6 feet.
Interior Side Yard (Northwesterly side)	0 feet – All lots except Lot 12 and 35.
Street Side Yard	6 feet – Lot 1, 24 and 25.
Height Limit:	25 feet overall – Lots 12, 13 and 35.
	25 feet overall – 12 feet within 3 feet of an exterior Side Yard – All other Lots.
Number of Stories:	1-Story Lots – Lot 1, 3, 7, 11, 18, 22, 24, 25, 28.
	2-Story Lots – All remaining lots.
Fence Height:	3 feet in front yard setback area.
	8 feet outside of front yard setback area.
Architectural Projections:	2 feet – except no fireplace or chimney structure allowed in first floor front yard setback area or rear yard setback area.
Required landscaping:	Entire front yard setback area except entry walks and driveways.
	6 square feet minimum in rear yard setback area.
Trash Enclosure:	Minimum 2-foot by 4-foot area adjacent to rear yard setback area – all lots except 31, 32, 33, 34, and 35.
Patio Area:	240 square foot minimum - adjacent to 6-foot side yard setback area
Patio Covers:	Not permitted in front, rear, or side yard setback area.
	Must have 50% open roof area and cannot be enclosed.

F. **Flood Zone Heights.** In special flood hazard zones as defined in Title 9: Public Property, Public Works and Building Regulations, Chapter 9.45: Floodplain Management, the maximum height is increased by the increase in elevation required to reach the base flood elevation.

G. **Building Height – RLD-9 and RMD 18 Districts.** Building height in the RLD-9 District in Old Town and the RMD-18 District are:

1. RLD-9 District – Old Town. Maximum building height is 25 feet as measured at the wall of the building nearest Ocean Avenue and the height of this roofline shall not be exceeded on the remainder of the lot.

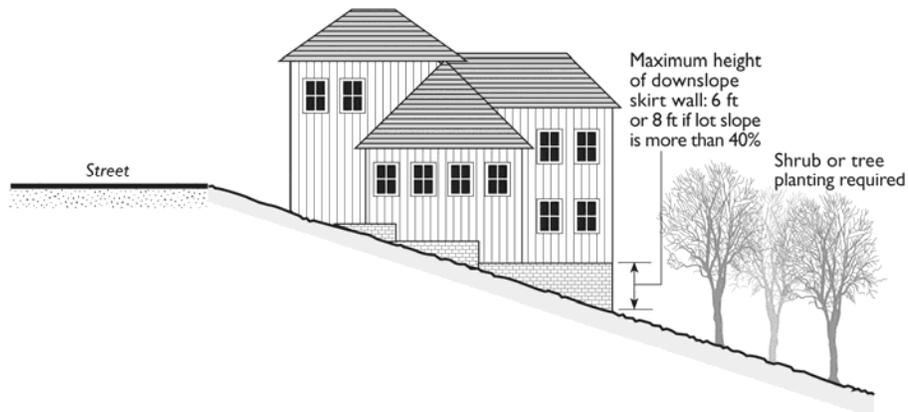
2. RMD-18 District. The maximum building height for residential structures is:

- a. Lots Less than 37.5 Feet Wide: 25 feet
- b. Lots 37.5 Feet Wide or Greater:
  - i. Front 1/2 of lot: 25 feet
  - ii. Rear 1/2 of lot: 35 feet

H. **Maximum Height of Downslope Skirt Walls.** On a downslope lot, the skirt wall which covers the unfinished understory of the home shall not be greater than 6 feet in height if lot slope is 40 percent or less; and 8 feet if lot slope exceeds 40 percent. The height of the skirt wall shall be measured from finished grade to the floor level of the lowest floor that is above ground. Greater height may be approved with a Minor Use Permit pursuant to Chapter 11.5.20: Development Permits, provided that the wall has an architectural treatment that minimizes the unattractive blank wall surface. Acceptable treatments include but are not limited to: a different but compatible surface material than the rest of the building; a minimum 5-foot projection from the floor above covered with a deck; a minimum 2-foot recess from the floor above; or covering the skirt wall with a trellis on which plant material grows. See Figure 11.2.05.015.H: Special Requirements for Downslope Lots.

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Figure 11.2.05.015.H  
Special Requirements for Downslope Lots



I. **Projections.** Projections are permitted subject to the following standards:

1. Projections Into Yards – Architectural Features. Architectural features, such as cornices, eaves, canopies, chimneys, and bay windows not exceeding 8 feet in length may not be located within 3 feet from the side lot line, nor more than 2 feet into any required front or rear setback. On corner lots, street side, such architectural features may not be located closer than 5 feet to the side lot line.

2. Projections Into Yards – Stairs, Decks and Balconies. Open, uncovered stair landings, decks and balconies 12 feet or less in length and less than 6 feet above grade may not be located within 3 feet from the side lot line, nor project more than 3 feet into the minimum front setback, or 6 feet into the rear setback in any residential area. On corner lots, street side, and beside public paths, such structures may not be located closer than 5 feet to the side lot line.

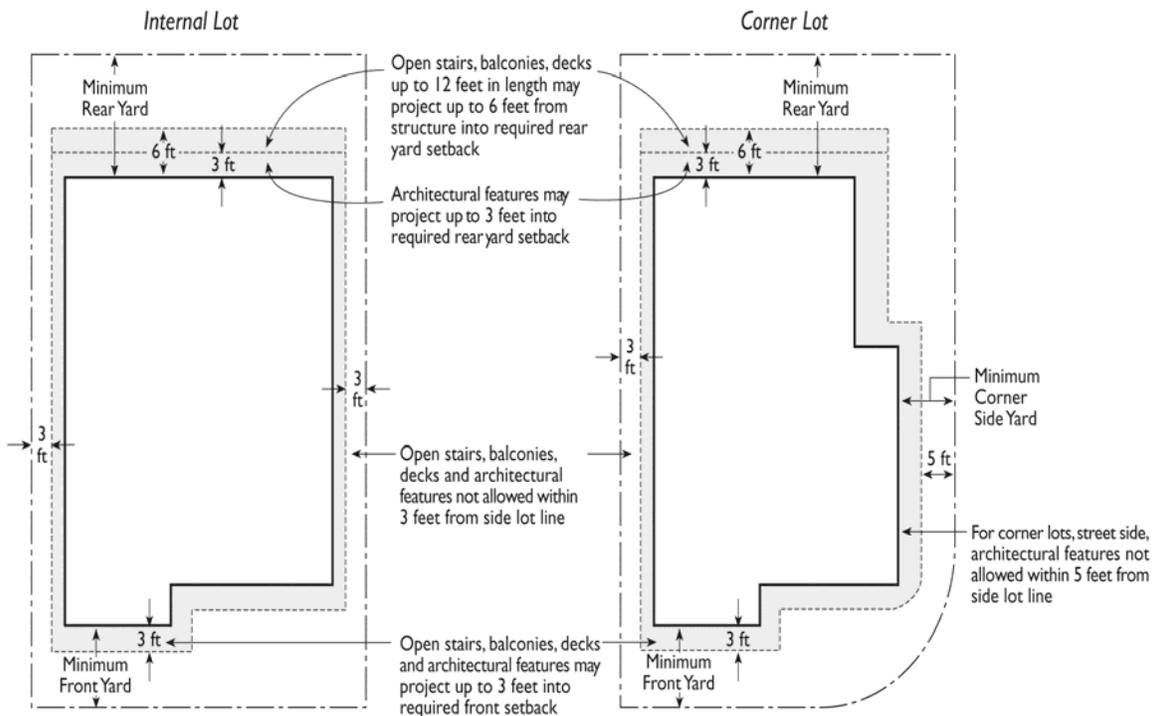
a. Low-level Wooden Decks. Low-level wooden decks, not in excess of 1 foot above natural grade, may project into a required yard to the property line.

b. RLD-9 District – Old Town. Decks and balconies may extend or project a maximum of 10 feet into or over the rear yard in the area below or at the second floor level (from street). Above the second floor level, eaves may project a maximum of 5 feet over the rear yard.

3. Projections – RLD-15 District. Refer to Section 11.2.05.010.E: *RLD-15 District Development Standards*, Table 11.2.05.015.E.1 through Table 11.2.05.015.E.3, for allowable projections in the RLD-15 District.

4. Projections – RHD-20 District. For lots less than 50 feet in width in the RHD-20 District the projections allowed in subsections 1 through 2, above, may project not more than 2 feet into the required side yard; provided that the required interior side yard shall not be reduced to less than 2 feet in width.

Figure 11.2.05.015.I  
Projections Into Required Yards – Residential Districts



J. **Minimum Distance Between Buildings and Minimum Size of Courts – RMD and RHD Districts.** In the RMD and RHD districts courts within or between buildings that have parking, front doors to units, or primary living room windows shall have a minimum dimension of 20 feet.

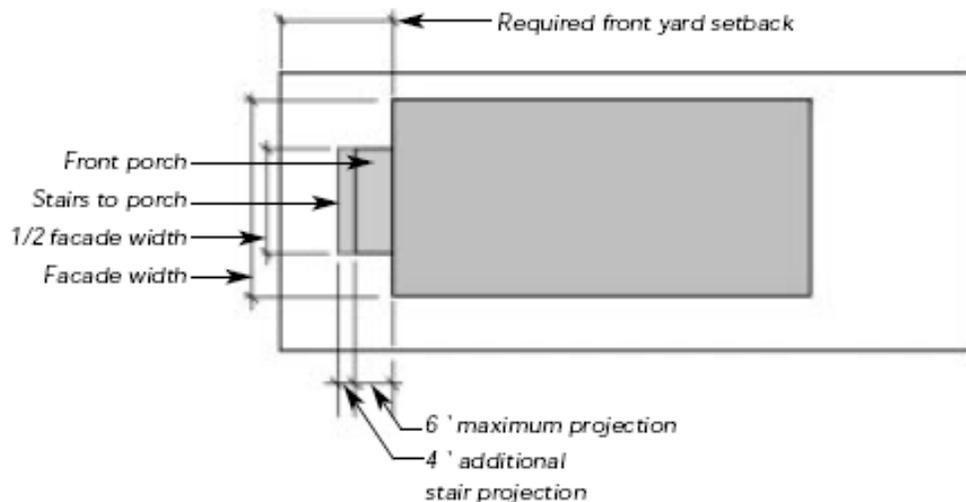
K. **Porches.** Front porches may extend into the front setback up to 6 feet if all of the following standards are met.

1. The porch is open on 2 or more sides.
2. The porch enclosure, including roof, parapets, and railings, does not exceed 14 feet in height.

3. The porch does not exceed 50% of the front building width measured at the front façade. Greater width may be approved pursuant to a Minor Use Permit pursuant to Chapter 11.5.20: *Development Permits*.

4. Stairs leading up to a porch, which are less than 2 feet above grade, may project an additional 4 feet into the required front yard setback.

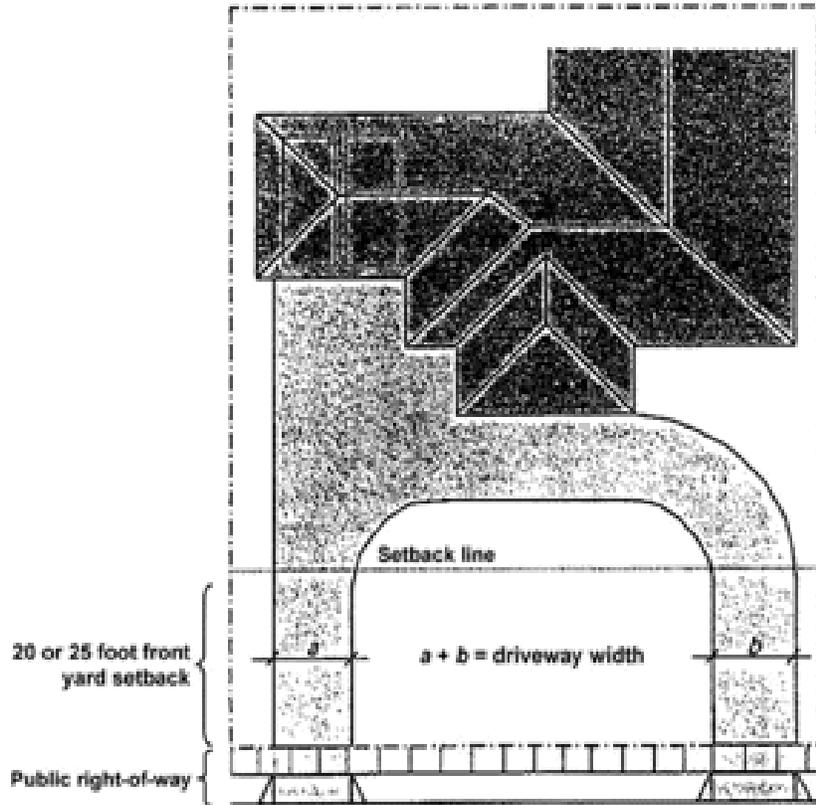
Figure 11.2.05.015.K  
Front Porch Projections



L. **Curb Cuts and Driveways – RLD-9 District.** For lots less than 15,000 square feet a maximum of 1 curb cut for a driveway entrance to parking is permitted, except that for single-unit homes on lots with at least 80 feet of street frontage, 2 curb-cuts for circular driveways are permitted. The edge of the circular driveway nearest the public roadway shall not be located within the required front setback. Exceptions may be approved with a Conditional Use Permit, pursuant to Chapter 11.5.20: *Development Permits*. See Figure 11.2.05.015.L: *Limits on Multiple Curb Cuts, Driveways, and Front Yard Paving – RLD-9 District*.

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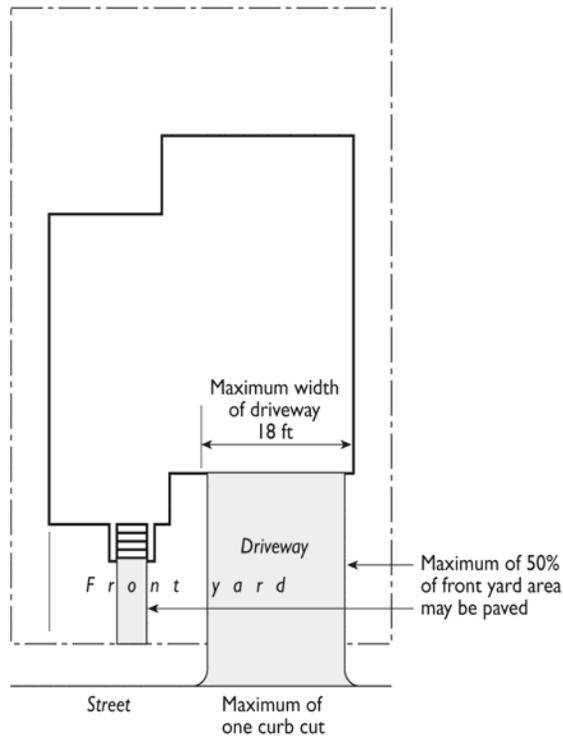
Figure 11.2.05.015.L  
Limits on Multiple Curb Cuts, Driveways, and  
Front Yard Paving – RLD-9 District



M. **Maximum Driveway Width – RLD-9 District.** In a street-facing yard, the maximum width of a driveway leading to parking facilities is 18 feet. This does not apply to the size of the associated curb cut on public or private streets. See Figure 11.2.05.015.M: *Limits on Curb Cuts, Driveways, and Front Yard Paving – RLD-9 District.*

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Figure 11.2.05.015.M  
Limits on Curb Cuts, Driveways, and  
Front Yard Paving – RLD-9 District



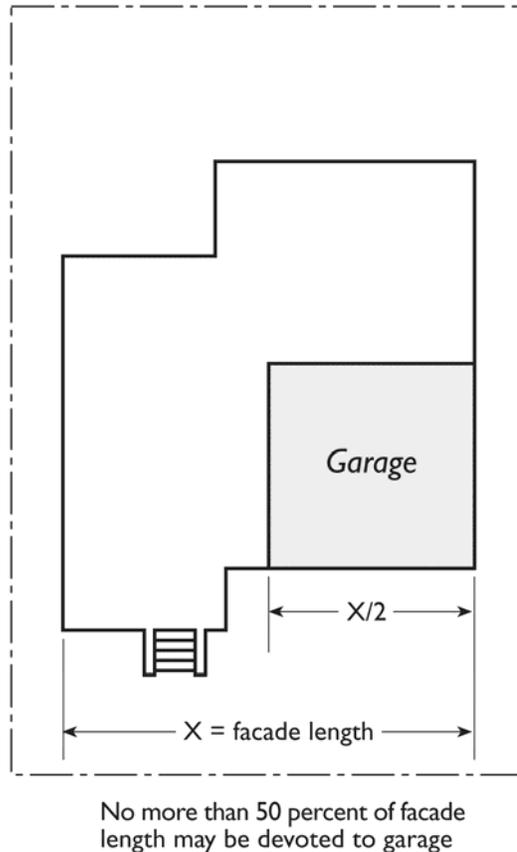
N. **Limitations on Parking and Garage Frontage.** The following standards apply to parking and garage frontage.

1. Detached Garages. Detached garages are subject to the standards set forth in Table 11.2.05.015.N.1: *Detached Garage Standards.*

TABLE 11.2.05.015.N.1 Detached garage standards			
District	Maximum Height (ft.)	Lot Coverage (sq. ft.)	Location
RLD	15	600	Rear one-half of lot. Detached garages for one or two unit projects may be on front one-half of lot with approval of a Minor Use Permit.
RMD	15	500	
RHD	15	--	
Garages for more than 3 vehicles require Conditional Use Permit approval pursuant to Chapter 11.5.20: <i>Development Permits.</i>			

2. Maximum Width of Garages and Carports. Garages and carports within 30 feet of a front or street-facing side lot line shall be no more than 20 feet in width. In addition, all attached garages and carports located within 30 feet of a front or street-facing side lot line shall not exceed 50 percent of the width of the residential façade. Exceptions may be allowed by Minor Use Permit pursuant to Chapter 11.5.20: *Development Permits*.

Figure 11.2.05.015.N.2  
Residential Districts –  
Limitations on Garage Frontage



3. Required Garage, Carport, or Uncovered Parking Location to the Side or Rear of a Residence in Certain Cases. Garages, carports, or any uncovered parking spaces shall be located to the rear or side of any principal residential structure, and at least 30 feet from the front lot line, if at least 60 percent of the buildings in the immediate context have garages, carports and uncovered parking located at a depth of at least 30 feet from the front lot line. The immediate context shall consist of the 5 closest lots on each side of the project site plus the 10 closest lots on the opposite side of the street.

4. Required Garage Exception – RLD-9 District. The number of garage parking spaces required pursuant to Table 11.4.20.015.A.1: *Required Parking*, for single-unit dwellings in the RLD-9 District shall be reduced by one space for single-unit dwellings of 6 bedrooms or more if the driveway provides a clear area of 18 feet by 18 feet in front of a garage equipped with a roll-up door to accommodate vehicles parked off the street.

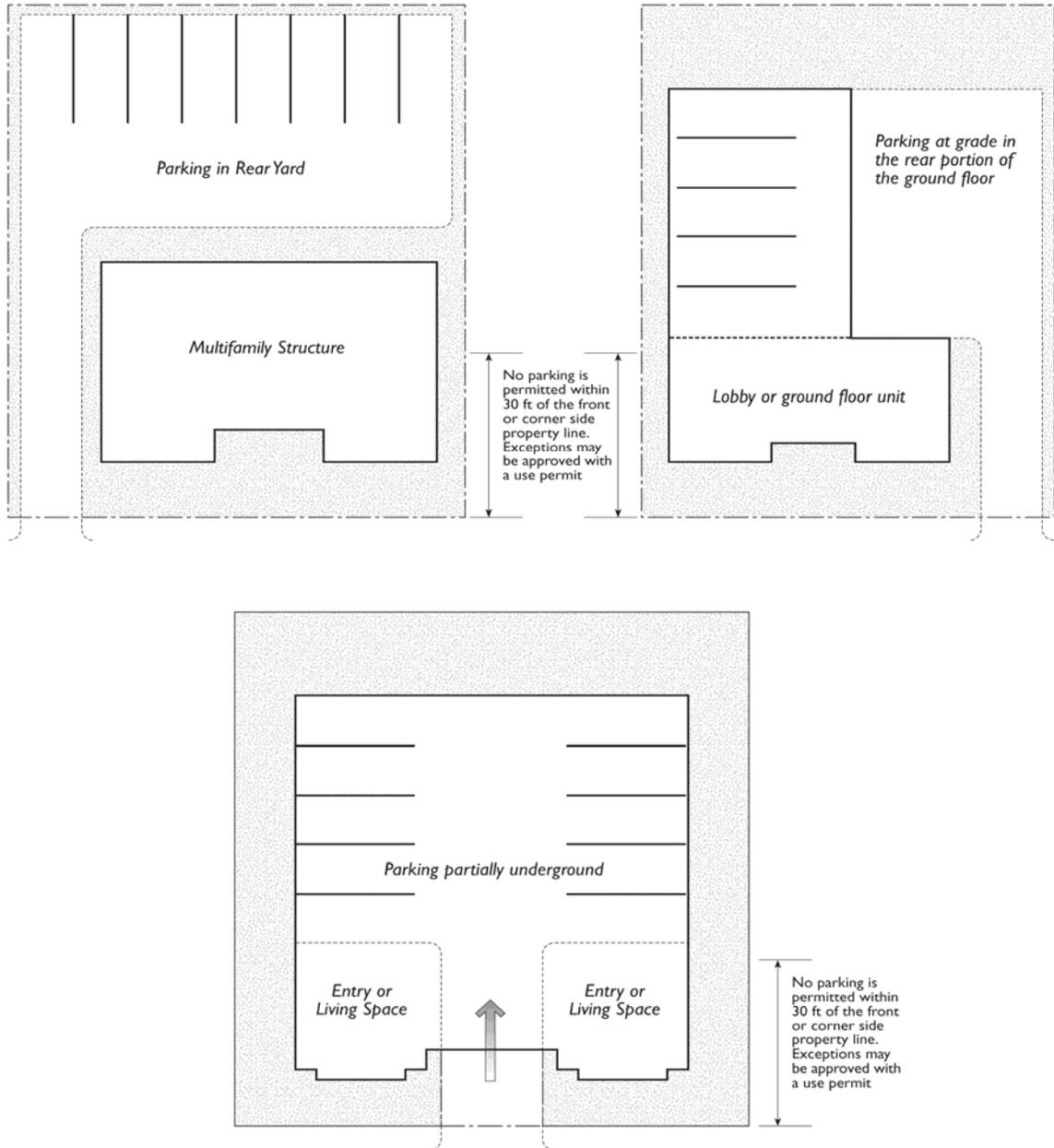
5. Required Garage Exception – Surfside. The number of garage parking spaces required pursuant to Table 11.4.20.015.A.1: *Required Parking*, for single-unit dwellings in the Surfside District shall be reduced by one space for single-unit dwellings of 6 bedrooms or more if the subject property provides a minimum clear area of 9 feet by 22 feet between the private street property line and the face of a two-car garage equipped with a roll-up door to accommodate vehicles.

6. Required Garage Exception – RHD-20 District. The number of garage parking spaces required pursuant to Table 11.4.20.015.A.1: *Required Parking*, for single-unit dwellings in the RHD-20 District shall be reduced by one space for single-unit dwellings of 6 bedrooms or more if the subject property provides a minimum clear area of 9 feet by 22 feet between the alley property line and the face of a two-car garage equipped with a roll-up door to accommodate vehicles.

7. Location of Parking for Multi-Unit Dwellings. For projects with 3 or more residential units, no open parking or structured parking more than 4 feet above grade shall be located within 30 feet of a front or corner side property line. Exceptions may be approved with a Conditional Use Permit pursuant to Chapter 11.5.20: *Development Permits*. See Figure 11.2.05.015.N.7: *Location of Parking for Multi-Unit Dwellings*.

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Figure 11.2.05.015.N.7  
Location of Parking for Multi-Unit Dwellings



**O. Minimum Permeable Surface - Maximum Paving in Street Facing Yards.** A minimum of 60 percent of the required street facing yards shall have a permeable surface that permits water absorption directly into the soil. No more than 50 percent of the required front or corner side yard may be covered with a paved surface.

P. **Minimum Site Area Devoted to Landscaping.** In all residential districts except the RLD-9 District and the RHD-20 District no less than 15 percent of any site shall be devoted to landscaping. With the exception of areas for entry and exit, all required front and street side setbacks shall be landscaped and such areas shall be credited to the required landscaping. A minimum of 25 percent of any lot in the RLD-9 District shall be devoted to landscaping. Also refer to Section 11.4.30.015: Areas to be Landscaped for additional landscaping standards.

Q. **Required Planting on Downslope Lots.** On all downslope lots with a ground slope greater than 10 percent, a minimum of 3 trees and 3 shrubs shall be planted in the yard adjoining the downslope wall. Trees shall be of a species that is not highly flammable, and that does not have low branches close to the ground that could pose a fire hazard. Shrubs shall be located away from the base of the wall and tree trunks to minimize fire danger. See Figure 11.2.05.015.H: Special Requirements for Downslope Lots.

R. **Pedestrian Walkways.** Where more than 4 units are provided on a lot, a walkway which is distinct, separate, and physically protected from any adjacent driveway or parking area, shall be required to provide access from the public right of way to the dwelling units.

S. **Development Standards for 2-Story Cabanas/Manufactured Homes.**

1. Purpose and Intent. In order to ensure the compatibility and safety of 2-story cabanas or a 2-story manufactured home within a mobile home park or trailer park, the following development standards and procedures are established.

2. Permit Requirement. Minor Use Permit approval pursuant to Chapter 11.5.20: Development Permits is required to establish a 2-story cabana or a 2-story manufactured home. Determination that the proposed construction complies with the requirement of this Section and all applicable laws including the provisions in Title 25 of the California Administrative Code shall be made by the Building Official.

3. Size Limitation – 2-Story Cabana. The size of a 2-story cabana, including any existing or proposed single-story cabanas, shall be less than the size of the mobile home or travel trailer located on the trailer space.

4. Height Limits.

a. The maximum permitted building height shall not exceed two stories or 25 feet in overall height.

b. The area between 20 feet and 25 feet in overall height shall consist exclusively of roofing.

5. Decks and Balconies. No decks or balconies shall be permitted above the floor level of a second story.

6. Safety Requirements.

a. **Sprinkler System.** A life safety sprinkler system shall be installed throughout the trailer and cabaña or the 2-story manufactured home in accordance with the requirements set forth in the California Building Code, Section 1004.2.3.2, as locally amended by City of Seal Beach Ordinance No. 1488, Section 5-30.12, Exception 7, as may be amended.

b. **Fire-Rated Construction.** The exterior of the cabana shall be constructed of stucco, or 1 hour fire-rated material shall be installed under wood siding.

c. **Title 25 Compliance – Setbacks.** The setbacks and clearances of Title 25, California Administrative Code shall be applicable to all two story cabanas and 2-story manufactured homes.

**T. Roof Decks.** Roof Decks are allowed in the residential districts pursuant to Table 11.2.05.015: Development Standards for Residential Districts. Detached canopies are permitted on roof decks provided that canopies are permitted only if they are collapsible, and maintained below the height limit when not in use. In addition, all required roof deck railings in accordance with the provisions of the California Building Code shall not exceed the height limit provisions of Table 11.2.05.015. The provisions of Section 11.2.05.015.I: Projections, are not applicable to roof decks. (Ord No. 1625)

**U. Old Ranch Towne Center Development Plan Overlay.** There is established in the Residential Medium Density (RMD) Zone the Old Ranch Towne Center Development Plan Overlay. All development designated as “Development Area D”, as revised by the City Council, in the Bixby Old Ranch Towne Center Development Plan approved on November 23, 1998 shall be in conformance with, and limited to, the plans, specifications and proposed uses so approved. All land uses subject to the overlay shall comply with the otherwise applicable development standards of the RLD-9 and OS/PR District.

**V. Exception.** On lots of less than thirty-seven and a half (37.5) feet in width, an encroachment into the exterior side yard for the length of the required garage will be permitted, provided that a setback of three (3) feet is maintained. The intent of this provision is to provide an interior garage width of eighteen (18) feet. (Ord. No. 1611)

**§ 11.2.05.020      Review of Plans.**

All development is subject to development review under the City's administrative provisions, found in Part V: Land Use and Zoning Decisions of this Zoning Code.

\* \* \* \* \*

## Chapter 11.2.10 Commercial and Mixed-Use Districts

### § 11.2.10.005      **Applicability.**

The provisions of this Chapter are applicable to the following Zoning Code district designations:

**LC-RMD:** Limited Commercial/Residential Medium Density Zone. To allow limited commercial and office uses in conjunction with residential uses.

**PO:** Professional Office. To allow office, medical and related uses that may also serve as a buffer area between residential areas and more intensive commercial areas.

**MSSP:** Main Street Specific Plan. To allow visitor-serving and resident-serving office, retail, restaurant, and personal service uses with upper floors devoted to office uses along Main Street.

**SC:** Service Commercial. To allow neighborhood-serving commercial areas that provides retail, restaurant, and personal service uses.

**GC:** General Commercial. To allow sub-regional and regional centers of commercial activity and may include both pedestrian- and auto-oriented development. Other typical uses are auto service stations, auto repair, and sales.

### § 11.2.10.010      **Land Use Regulations.**

Table 11.2.10.010: Use Regulations – Commercial and Mixed-Use Districts prescribes the land use regulations for commercial and mixed-use districts. The regulations for each district are established by letter designations as follows:

“**P**” – Uses permitted as-of-right that require no discretionary review if in compliance with all standards.

“**L**” – Uses permitted as-of-right subject to limitations restricting location, size, or other characteristics to ensure compatibility with surrounding uses. Limitations are referenced by number designations listed at the end of Table 11.2.10.010: Use Regulations – Commercial and Mixed-Use Districts.

“**M**” – Uses subject to a Minor Use Permit following discretionary review by the Planning Commission pursuant to Chapter 11.5.20: Development Permits.

“C” – Uses subject to a Conditional Use Permit following discretionary review and public hearing by the Planning Commission pursuant to Chapter 11.5.20: Development Permits.

“--” – Uses that are not permitted.

The “Additional Regulations” column includes specific regulations applicable to the use classification, that are located elsewhere in this Zoning Code. Use classifications are defined in Chapter 11.4.85: Use Classifications. Use classifications not listed in Table 11.2.10.010: Use Regulations – Commercial and Mixed-Use Districts are prohibited

<b>TABLE 11.2.10.010 USE REGULATIONS – COMMERCIAL AND MIXED-USE DISTRICTS</b>						
	<i>LC/RMD</i>	<i>PO</i>	<i>MSSP</i>	<i>SC</i>	<i>GC</i>	<i>Additional Regulations</i>
<b>Residential Use Types</b>						
Single Unit Residential	P	--	L-1	--	--	See Section 11.2.10.015 and Section 11.4.05.060
Second Unit	--	--	--	--	--	
Two-Unit Residential (Duplex)	P	--	L-1	--	--	
Multiple Unit Residential	P	--	L-1	--	--	
Family Day Care						
<i>Small Family</i>	P	--	--	--	--	
<i>Large Family</i>	C	C	--	C	C	See Section 11.4.05.045
Group Housing	--	C	--	--	--	
Senior Citizen Housing	--	--	--	--	--	
<b>Public, Semi-Public, and Service Use Types</b>						
Clubs and Lodges	--	--	--	C	C	See Section 11.4.05.080
Community Center	C	C	--	C	C	
Community Social Service Facilities	--	C	--	C	C	
Cultural Institutions	--	C	--	C	C	See Section 11.4.05.080
Day Care Center	C	C	--	C	C	See Section 11.4.05.045

<b>TABLE 11.2.10.010 (Continued)</b>						
<b>USE REGULATIONS – COMMERCIAL AND MIXED-USE DISTRICTS</b>						
	<i>LC/RMD</i>	<i>PO</i>	<i>MSSP</i>	<i>SC</i>	<i>GC</i>	<i>Additional Regulations</i>
<b>Public, Semi-Public, and Service Use Types (Continued)</b>						
Government Offices	A	A	A	A	A	
Hospitals and Clinics						
<i>Hospitals</i>	--	C	--	C	C	
<i>Clinics</i>	--	C	--	C	C	
Park and Recreation Facilities	P	P	P	P	P	
Parking Facilities, Public	C	C	C	C	C	See Chapter 11.4.20
Public Safety Facilities	A	A	A	A	A	
Religious Facilities	--	C	--	C	C	
Residential Care Facilities						See Section 11.4.05.105
<i>Residential Care, General</i>	--	C	--	C	C	
<i>Residential Care, Limited</i>	<b>P</b>	C	--	C	C	<i>(Ord No. 1617)</i>
<i>Residential Care, Senior</i>	--	C	--	C	C	
Schools, Private	C	C	--	C	C	See Section 11.4.05.080
<b>Commercial Use Types</b>						
Adult Business Establishments	--	--	--	--	P	See Chapter 11.4.50
Animal Sales and Services	--	--	A	A	A	
Artists' Studios	P	P	P	P	P	
Automobile/Vehicle Sales and Services						
<i>Automobile Rentals</i>	--	--	--	A	A	
<i>Automobile/Vehicle Sales and Leasing</i>	--	--	--	--	P	
<i>Automobile/Vehicle Service and Repair, Major</i>	--	--	--	C	C	See Section 11.4.05.040

<b>TABLE 11.2.10.010 (Continued)</b>						
<b>USE REGULATIONS – COMMERCIAL AND MIXED-USE DISTRICTS</b>						
	<i>LC/RMD</i>	<i>PO</i>	<i>MSSP</i>	<i>SC</i>	<i>GC</i>	<i>Additional Regulations</i>
<b>Commercial Use Types (Continued)</b>						
<i>Automobile Service Stations/Vehicle Service and Repair, Minor</i>	--	--	--	C	C	See Section 11.4.05.035
<i>Automobile Washing</i>	--	--	--	A	A	
<i>Large Vehicle Sales, Services and Rental</i>	--	--	--	--	A	
Bakery	L-4	--	L-4	L-4	L-4	
Banks and Other Financial Institutions	--	P	P	P	P	
<i>With Drive-Through Facilities</i>	--	C	C	C	C	See Section 11.4.05.050
<i>Automated Teller Machines (ATMs)</i>	--	A	A	A	A	See Section 11.4.05.030
Building Materials and Services	--	--	--	--	C	
Business Services	P	P	L-2, L-3	P	P	
Commercial Recreation						
<i>Large-scale</i>	--	--	--	C	C	
<i>Small-scale</i>	--	--	--	A	A	
<i>Day Spa/Spa (Ord 1630)</i>	--	--	⊖	⊖	⊖	See Chapter 5.45, Massage Establishments
Eating and Drinking Establishments						
<i>Bars</i>	--	--	C	C	C	
<i>Coffee House/ Dessert Shop</i>	--	--	P; L-5; L-6	P	P	
<i>Restaurants, Fast Food</i>	--	--	--	C	C	See Section 11.4.05.050
<i>Restaurants, Full Service</i>	--	--	P, C	P, C	P, C	See Section 11.4.05.015
<i>Restaurants, Limited Service</i>	--	--	P	P	P	See Section 11.4.05.015
<i>Restaurants, Take Out Only</i>	--	--	P	A	A	
<i>With Drive-Through Facilities</i>	--	--	--	C	C	See Section 11.4.05.050

<b>TABLE 11.2.10.010 (Continued)</b>						
<b>USE REGULATIONS – COMMERCIAL AND MIXED-USE DISTRICTS</b>						
	<i>LC/RMD</i>	<i>PO</i>	<i>MSSP</i>	<i>SC</i>	<i>GC</i>	<i>Additional Regulations</i>
<b>Commercial Use Types (Continued)</b>						
<i>With Outdoor Eating Areas</i>	--	--	A, C	A, C	A, C	See Section 11.4.05.090
<i>Day Spa/Spa (Ord 1630)</i>	--	--	€	€	€	See Chapter 5.45, Massage Establishments
Extended Hour Business	C	--	--	C	C	See Section 11.4.05.055
Food and Beverage Sales						
<i>Catering Services</i>	--	--	--	--	P	
<i>Convenience Market</i>	--	--	--	P, C	P, C	See Section 11.4.05.015
<i>General Market</i>	--	--	P, C	P, C	P, C	See Section 11.4.05.015
<i>Liquor Stores</i>	--	--	C	C	C	See Section 11.4.05.070
Funeral Parlors and Mortuaries	--	--	--	--	P	
Home Improvement Sales and Services	--	--	--	--	C	See Sections 11.4.05.090 and 11.4.05.140
Hotels and Motels	--	--	--	--	C	
Kennel	--	--	--	C	C	
Kiosks	--	--	--	A	A	See Section 11.4.05.065
Laboratories	--	P	L-2, L-3	P	P	
Maintenance and Repair Services	P	--	--	P	P	
Massage	--	--	C	C	C	See Chapter 5.45, Massage Establishments
Offices, Business and Professional	P	P	L-2, L-3	P	P	
<i>Walk-in Clientele</i>	P	P	L-2, L-3	P	P	
Offices, Medical and Dental	P	P	L-2, L-3	P	P	
Parking Facilities, Commercial	--	--	C	--	C	See Chapter 11.4.20

<b>TABLE 11.2.10.010 (Continued)</b>						
<b>USE REGULATIONS – COMMERCIAL AND MIXED-USE DISTRICTS</b>						
	<i>LC/RMD</i>	<i>PO</i>	<i>MSSP</i>	<i>SC</i>	<i>GC</i>	<i>Additional Regulations</i>
<b>Commercial Use Types (Continued)</b>						
Personal Improvement Services	P	P	L-2	P	P	
Massage, <del>Accessory</del> (Ord 1630)	A	A	A	A	A	See Chapter 5.45, Massage Establishments
Personal Services	P	P	P	P	P	
Massage, <del>Accessory</del> (Ord 1630)	A	A	A	A	A	See Chapter 5.45, Massage Establishments
Retail Sales	P	--	P	P	P	See Section 11.4.05.090
Large Format	--	--	--	P	P	See Section 11.4.05.140
Tattoo Establishments	--	--	--	--	C	See Chapter 11.4.65
Theaters	--	--	C	--	C	
<b>Light Manufacturing Use Types</b>						
Contractors' Yards	--	--	--	--	--	
Handicraft/Custom Manufacturing	P	P	P	P	P	
Industry, Limited	--	--	--	--	--	
Industry, General	--	--	--	--	--	
Warehousing and Storage						
Indoor Commercial Storage	--	--	--	--	--	
Outdoor Storage	--	--	--	--	--	
Personal Storage	--	--	--	--	--	
<b>Transportation, Communication, and Utility Use Types</b>						
Wireless Communication Facilities						See Chapter 11.4.70
Antennae and Transmission Towers	C	C	C	C	C	
Satellite dishes less than 79" in diameter	P	P	P	P	P	

<b>TABLE 11.2.10.010 (Continued)</b>						
<b>USE REGULATIONS – COMMERCIAL AND MIXED-USE DISTRICTS</b>						
	<i>LC/RMD</i>	<i>PO</i>	<i>MSSP</i>	<i>SC</i>	<i>GC</i>	<i>Additional Regulations</i>
<b>Transportation, Communication, and Utility Use Types (Continued)</b>						
Recycling Facilities						See Section 11.4.10.025
<i>Recycling Collection Point</i>	--	--	--	C	C	
<i>Recycling Processing Facility</i>	--	--	--	--	C	
<i>Reverse Vending Machines</i>	P	P	P	P	P	
Utilities, Major						
<i>Hazardous Waste Facility</i>	--	--	--	--	C	See Chapter 11.4.60
Utilities, Minor	P	P	P	P	P	
<b>Agriculture Use Types</b>						
Nurseries	--	--	P	P	P	
<b>Other Applicable Use Regulations</b>						
Accessory Use	See Section 11.4.05.010: <i>Accessory Business Uses and Activities</i>					
Nonconforming Use	See Chapter 11.4.40: <i>Nonconforming Uses, Structures, and Lots</i>					
Temporary Use	See Chapter 11.5.25: <i>Director Determinations</i>					
L-1	Permitted if an existing use; new uses are prohibited. See Chapter 11.4.40: <i>Nonconforming Uses, Structures, and Lots</i>					
L-2	Not allowed on the ground floor along Main Street without a Conditional Use Permit; allowed on side streets as a permitted use					
L-3	If on the ground floor along Main Street permitted if an existing use; new uses are prohibited. See Chapter 11.4.40: <i>Nonconforming Uses, Structures, and Lots</i>					
L-4	Bakery production sold at retail on premise					
L-5	Permitted use if less than 1,000 square feet and less than 10 seats					
L-6	Minor Use Permit required if 1,000 square feet or more and 10 seats or more					

**§ 11.2.10.015 Development Standards.**

Table 11.2.10.015: *Development Standards – Commercial and Mixed-Use Districts* prescribes the development standards for the commercial and mixed use districts. The “*Additional Regulations*” column indicates more detailed explanations or regulations that follow the table (by letter designation) or that are located elsewhere in this Zoning Code.

<b>TABLE 11.2.10.015 DEVELOPMENT STANDARDS – COMMERCIAL AND MIXED-USE DISTRICTS</b>						
	<i>LC/RMD</i>	<i>PO</i>	<i>MSSP</i>	<i>SC</i>	<i>GC</i>	<i>Additional Regulations</i>
<b>Lot Size and Density</b>						
Minimum Lot Size (sq. ft.)	2,500	7,000	2,750	7,000	10,000	
Maximum Floor Area Ratio	0.90	--	--	--	--	
Maximum Residential Density – lot area per unit (sq. ft.)						
<i>Base Density</i>	2,500	--	--	--	--	(A)
<i>Density for Mixed Use Development</i>	2,000	--	--	--	--	(A)
<i>Density – Affordable Housing Bonus</i>	See Additional Regulations	--	--	--	--	See Chapter 11.4.55: Affordable Housing Bonus
<b>Building Form and Location</b>						
Maximum Building Height (ft.)	35	35	30	35	35	(B)
Building Setback on Street Frontages	varies	varies	varies	varies	varies	(C)
Minimum Yard Requirements						
<i>Interior Side</i>	varies	varies	varies	varies	varies	(C)
<i>Rear</i>	varies	varies	varies	varies	varies	(C)
Building Transition Zone Adjacent to R Districts	Yes					(D)
<b>Landscaping and Open Space</b>						
Public Open Space	Yes					(E)
Minimum lot area to be landscaped	5%	10%	0%	10%	10%	See Chapter 11.4.30: Landscaping and Buffer Yards
Minimum required front yard area to be landscaped	60%	--	--	--	--	

<b>TABLE 11.2.10.015 (Continued)</b>						
<b>DEVELOPMENT STANDARDS – COMMERCIAL AND MIXED-USE DISTRICTS</b>						
	<i>LC/RMD</i>	<i>PO</i>	<i>MSSP</i>	<i>SC</i>	<i>GC</i>	<i>Additional Regulations</i>
<b>Circulation and Parking</b>						
Limitations – Location of Parking	Yes			(F)		
Limitations on Curb Cuts	Yes			(G)		
Limitations – Location of Truck Docks; Loading and Service Areas	Yes			(H)		
Off-Street Parking and Loading	Yes			See Chapter 11.4.20: <i>Off-Street Parking and Loading</i>		
Reduced Parking Requirements	Yes			See Chapter 11.4.20: <i>Off-Street Parking and Loading</i>		
<b>Building Design</b>						
Building Orientation	Yes			(I)		
Design Provisions	--	--	Yes	--	--	(J)
<b>Special Requirements for Residential Development</b>						
Open Space (sq. ft. per unit)	100	--	--	--	--	(K)
Side and Rear Yard Setbacks	Yes	--	--	--	--	(L)
<b>Other Applicable Development Standards</b>						
Consistency with Council Adopted Design Guidelines, Area Plans, or Specific Plans				(M)		
Pedestrian Access to Buildings Setback from the Street				(N)		
Projections in to Required Yards				(O)		
General Site Standards	See Chapter 11.4.10: <i>General Site Standards</i>					
Fencing	See Chapter 11.4.15: <i>Fences, Hedges, and Walls</i>					
Parking and Loading	See Chapter 11.4.20: <i>Off-Street Parking and Loading</i>					
Signs	See Chapter 11.4.25: <i>Sign Regulations</i>					
Landscaping and Buffer Yards	See Chapter 11.4.30: <i>Landscaping and Buffer Yards</i>					
Coastal Development Permit	See Chapter 11.4.35: <i>Coastal Development Permit</i>					
Non-conforming Structures and Lots	See Chapter 11.4.40: <i>Non-conforming Uses, Structures, and Lots</i>					

**A. Maximum Residential Density/Development Standards.**

1. Calculation of Residential Density and FARs for Mixed Use Projects. Permitted residential densities for mixed-use projects shall be in addition to floor area ratios permitted for commercial uses in Table 11.2.10.015, above, within the limits of all required yard, height and other developments standards.

a. FAR for Non-Residential Development. The FAR for non-residential development in the LC-RMD District is set forth in Table 11.2.10.015.A: Non-Residential FAR – LC-RMD District.

<b>TABLE 11.2.10.015.A NON-RESIDENTIAL FAR - LC-RMD DISTRICT</b>	
<b>Lot Size</b>	<b>Maximum FAR</b>
5,000 sq. ft. or less	0.90
More than 5,000 sq. ft.	0.75 – minimum 4,500 sq. ft.

2. Density Bonus for Mixed Use Projects. See Chapter 11.4.55: Affordable Housing Bonus regarding allowable density bonus programs.

3. Residential Development Standards. The residential development standards for the LC-RMD district are as follows.

a. Mixed Use Project. May only be located on the second floor in compliance with all applicable requirements of this Chapter.

b. Residential Project. A residential development shall comply with all other applicable development standards for the RHD-20 district.

**B. Building Height.** Building height requirements are set forth in Table 11.2.10.015.B: Building Height – Commercial and Mixed-Use Districts.

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<b>TABLE 11.2.10.015.B</b>	
<b>BUILDING HEIGHT - COMMERCIAL AND MIXED-USE DISTRICTS</b>	
<b>Commercial District</b>	<b>Height</b>
<b>LC-RMD District</b>	
Lots less than 37.5 feet in width	30 feet
Lots greater than 37.5 feet in width	
Front ½ of lot	25 feet, 2 story maximum
Rear ½ of lot	35 feet, 3 story maximum
<b>PO District</b>	
District I	30 feet
District II	35 feet
<b>MSSP District</b>	30 feet, 2 story maximum
<b>SC District</b>	
District I	30 feet, 3 story maximum
District II	35 feet, 3 story maximum
<b>GC District</b>	
District I	30 feet, 3 story maximum
District II	35 feet, 3 story maximum
District VI	35 feet, 3 story maximum

1. Additional Height. Additional height may be allowed at specific locations designated in design guidelines, planned unit developments, or specific plans adopted by the City Council.

2. Accessory Commercial Structures. Accessory commercial structures shall not exceed 15 feet in height. See also Section 11.4.05.010: Accessory Business Uses and Activities.

C. **Building Setbacks.** Building Setbacks from street and alley frontages and interior lot lines are set forth in Table 11.2.10.015.C.1: Building Setbacks from Street Frontages – Commercial and Mixed-Use Districts, Table 11.2.10.015.C.2: Building Setbacks from Alleys – Commercial and Mixed-Use Districts, and Table 11.2.10.015.C.3: Building Setbacks from Interior Lot Lines – Commercial and Mixed-Use Districts.

**TABLE 11.2.10.015.C.1  
BUILDING SETBACKS FROM STREET FRONTAGES -  
COMMERCIAL AND MIXED-USE DISTRICTS**

<b>Commercial District</b>	<b>Street Frontage Building Setback</b>
<b>LC-RMD District</b>	
Commercial Use	6 foot average; 3 foot minimum
Side Street	10% lot width; 5 foot maximum
Residential Use	12 foot average; 6 foot minimum
Side Street	10% lot width; 8 foot maximum
<b>PO District</b>	
District I	10 feet minimum
Side Street	15% lot width; 3 foot minimum; 10 foot maximum
District II	18 feet minimum
Side Street	15% lot width; 5 foot minimum; 15 foot maximum
<b>MSSP District</b>	0 feet
<b>SC District</b>	
District I	0 feet
District II	35 feet, 3 story maximum
Side Street	15% lot width; 6 foot maximum
Rear Street	6 feet minimum
<b>GC District</b>	
District I	0 feet
District II	35 feet, 3 story maximum
Side Street	15% lot width; 6 foot maximum
Rear Street	6 feet minimum
District VI	18 feet minimum

**TABLE 11.2.10.015.C.2  
MINIMUM BUILDING SETBACKS FROM ALLEYS -  
COMMERCIAL AND MIXED-USE DISTRICTS**

<b>Commercial District</b>	<b>Minimum Setback Distance from Alley</b>
<b>LC-RMD District</b>	
Commercial Structure	
Rear Alley	22 feet
Side Alley	4 feet
Residential Structure (includes garage)	
15 foot wide alley	9 feet
12 foot wide alley	12 feet
13 foot wide alley	11 feet
Second Story and Above	May encroach ½ the required first floor setback
<b>PO District</b>	
<b>District I</b>	
15 foot wide rear alley	9 feet
12 foot wide rear alley	12 feet
13 foot wide rear alley	11 feet
Side alley	4 feet
<b>District II</b>	
Rear alley	0 feet
Side alley	0 feet
<b>MSSP District</b>	
Rear Alley	22 feet
Side Alley	4 feet
<b>SC District</b>	
<b>District I</b>	
Rear alley	22 feet
Side alley	4 feet
<b>District II</b>	
Rear alley	4 feet
Side alley	4 feet
<b>GC District</b>	
<b>District I</b>	
Rear alley	22 feet
Side alley	4 feet
<b>District II</b>	
Rear alley	4 feet
Side alley	4 feet
<b>District VI</b>	
Rear alley	4 feet
Side alley	4 feet

**TABLE 11.2.10.015.C.3  
BUILDING SETBACKS FROM INTERIOR LOT LINES -  
COMMERCIAL AND MIXED-USE DISTRICTS**

Commercial District	Setback Distance from Interior Lot Lines
<b>LC-RMD District</b>	
Commercial Structure	0 feet
Residential Structure (includes garage)	3 feet minimum, 10 feet maximum
<b>PO District</b>	
<b>District I</b>	
Side yard	10% lot width; 10 feet maximum
Rear yard	10 feet minimum
<b>District II</b>	
Side yard	10% lot width; 15 feet maximum
Rear yard	18 feet minimum
<b>MSSP District</b>	
Side yard	0 feet
Rear yard	10% lot width; 10 feet maximum
<b>SC District</b>	
<b>District I</b>	
Side yard	0 feet
Rear yard	10% lot width; 5 feet minimum, 10 feet maximum
<b>District II</b>	
Side yard	0 feet
Rear yard	6 feet minimum
<b>GC District</b>	
<b>District I</b>	
Side yard	0 feet
Rear yard	0 feet
<b>District II</b>	
Side yard	0 feet
Rear yard	6 feet minimum
<b>District VI</b>	
Side yard	10% lot width; 10 feet maximum
Rear yard	18 feet minimum

1. Building Setbacks and Landscaping Adjacent to Front Property Line.

a. LC-RMD and MSSP Districts. Buildings in the LC-RMD and MSSP districts shall be located between zero and 10 feet from property lines facing a street, for at least 80 percent of the linear street frontage of the property. See Figure 11.2.10.015.C.1.a: *Building Setback on Streets – LC-RMD and MSSP Districts.* Up to 25% of the area between the property line and the building may be landscaped, subject to the following standards; all other setback areas shall be paved for public use.

i. Landscaping along the building frontage shall not exceed a depth that prevents pedestrian access up to building windows or detracts from a pedestrian street frontage, generally 2 feet.

ii. All landscaping shall be integrated into the building; the use of planter boxes at windows is encouraged.

b. PO District. Buildings in the PO district shall be located between zero and 10 feet from property lines facing a street and for at least 70 percent of the linear street frontage of the property. See Figure 11.2.10.015.C.1.b: *Building Setback on Streets – PO District.* In the PO district, the area between the property line and the building shall be landscaped, except for pedestrian access walkways.

Figure 11.2.10.015.C.1.a  
Building Setback on Streets – LC-RMD and MSSP Districts

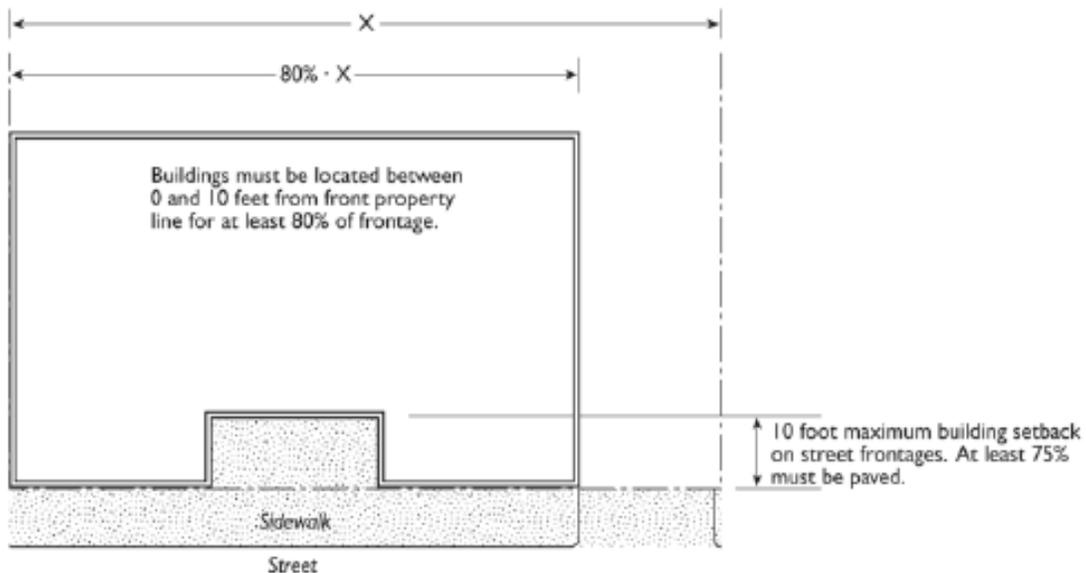
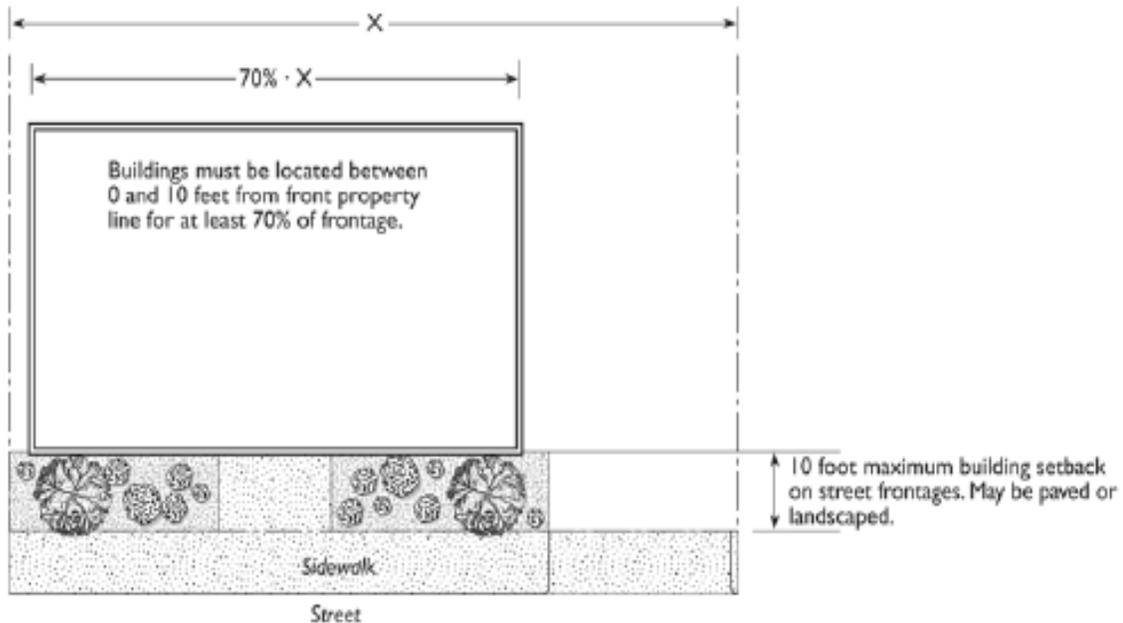


Figure 11.2.10.015.C.1.b  
Building Setback on Streets – PO District



**D. Minimum Yard Requirements: Building Transition Zone Adjacent to Residential Districts.**

1. Residential Setback shall Apply. For any portion of a structure adjacent to an adjoining residential district boundary along a common side yard boundary the minimum required setbacks of the residential district shall apply.

2. Daylight Plane Requirements. To protect privacy and minimize sunlight blockage, structures shall not intercept a 45-degree daylight plane inclined inward starting from a height of 35 feet above existing grade at the setback line.

3. Exceptions for Parking Structures. Exceptions to the above requirements are permitted for a one-story parking or garage structure that does not exceed 10 feet in height in a side or rear yard that does not front on a street.

**E. Public Open Space.** For buildings over 25,000 square feet outdoor open space which is accessible to the public during daytime hours shall be provided at a ratio of 25 square feet per 1,000 square feet of building. An open space area shall only be counted toward meeting the public open space requirement if it is possible to inscribe a rectangle within such area that has no side less than 15 feet in dimension. Open space(s) shall be visible from a public street and shall be located within 40 feet of the street-facing property line.

1. Exceptions: Minor Use Permit Required. A Minor Use Permit is required pursuant to Chapter 11.5.20: *Development Permits* for a public open space that is not visible from a public street and not located within 40 feet of the street-facing property line.

**F. Limitations on Location of Parking.**

1. Parking Location Generally. Commercial and mixed-use buildings shall be placed as close to the street as possible, with parking located either behind habitable space, on the interior side or rear of the site, underground, or in parking structures. See Figure 11.2.10.015.F: *Limitations on Parking and Curb Cuts*.

2. Parking Location – LC-RMD, PO, and MSSP Districts. Above ground parking may not be located within 40 feet of a street facing property line in the LC-RMD, PO, and MSSP districts.

a. Exceptions. Exceptions may be granted with the approval of a Minor Use Permit pursuant to Chapter 11.5.20: *Development Permits* for projects that do not meet this standard, including projects with parking on upper levels.

b. Additional Findings. Additional findings for approval of a Minor Use Permit for exceptions to this regulation are as follows:

i. The design incorporates habitable space built close to the public sidewalk to the maximum extent feasible; and any parking within 40 feet of the street facing property line is well screened with a wall, hedge, trellis, and/or landscaping.

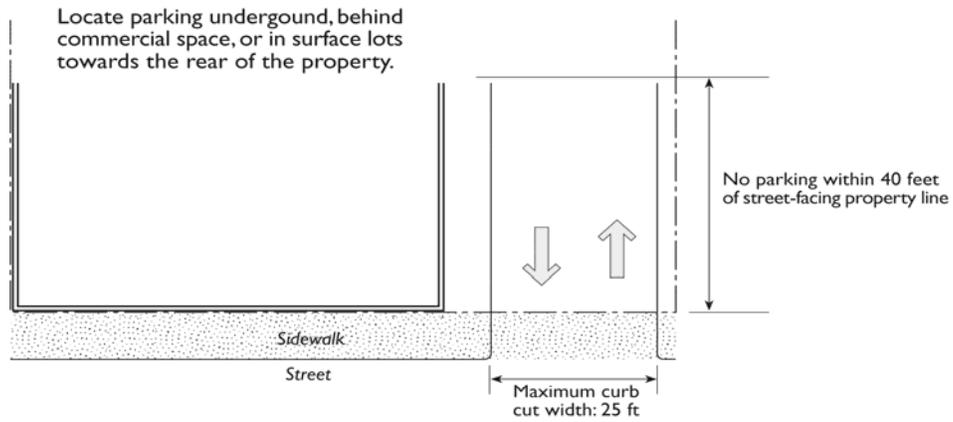
ii. The site is small and constrained such that underground parking or surface parking located more than 40 feet from street frontages is not feasible.

3. Additional Parking Facility Requirements. See Chapter 11.4.20: *Off-Street Parking and Loading* for additional parking facility requirements.

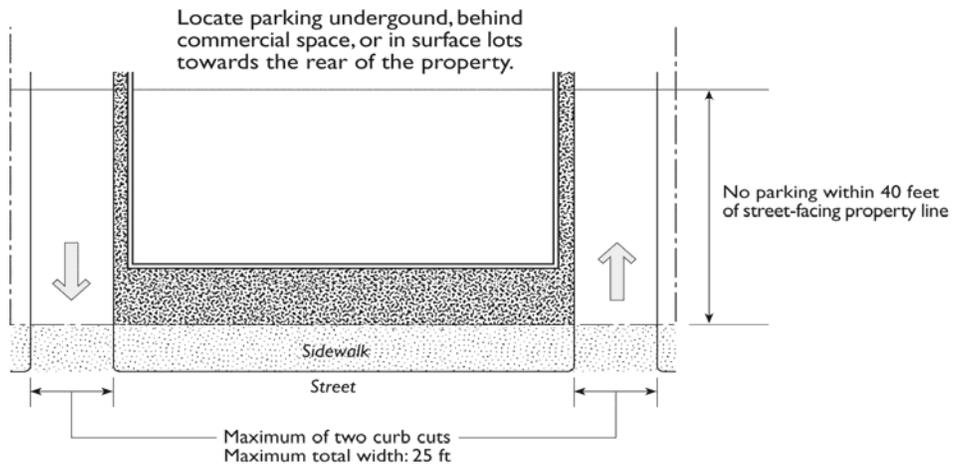
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Figure 11.2.10.015.F  
 Limitations on Parking and Curb Cuts

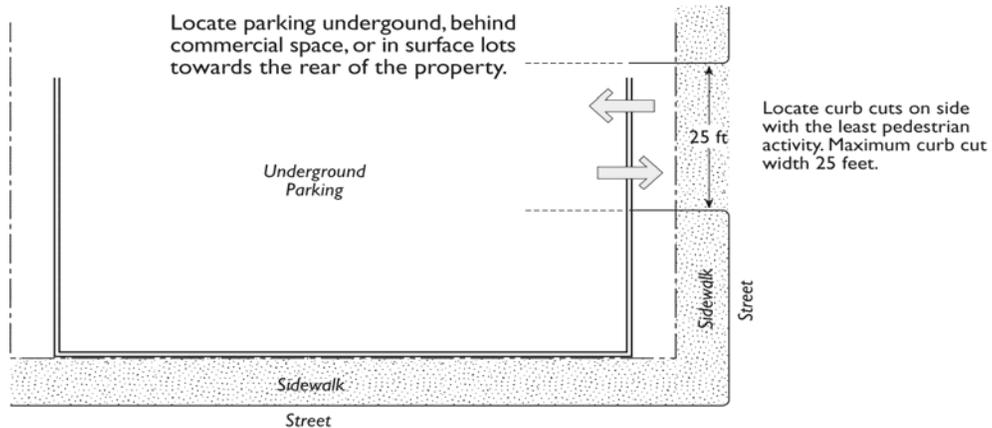
*Maximum Curb Cut Width*



*Maximum Number of Curb Cuts*



*Curb Cuts on Corner Properties*



**G. Limitations on Curb Cuts.**

1. Curb cuts are limited to a maximum of 25 feet of linear frontage for property that does not exceed 10,000 square feet in area. This may be achieved through a combination of 1 or 2 separate curb cuts. See Figure 11.2.10.015.F: Limitations on Parking and Curb Cuts.

2. Curb cuts are not allowed on lots that have alley access.

3. Curb cuts shall be located in the location least likely to impede pedestrian circulation.

4. Additional areas for curb cuts are allowed for properties over 10,000 square feet where it can be demonstrated that additional cuts are necessary to protect pedestrian safety or accommodate total vehicular traffic.

**H. Limitations on Location of Truck Docks, Loading, and Service Areas.** Truck docks, loading, and service areas shall not be located within 50 feet of any residential district boundary or within 40 feet of a street-facing property line. These facilities shall be located at the interior side of buildings or on the rear of the site and be screened so as not to be visible from public streets. Facilities within 150 feet of a residential district shall provide screen walls and sounds attenuation to comply with a noise level of 55 CNEL at the residential district boundary. Exceptions may be granted with approval of a Minor Use Permit pursuant to Chapter 11.5.20: Development Permits, if an alternative location for the truck dock, loading and/or service area better protects the pedestrian environment of the commercial district and/or better shields adjoining residential neighborhoods from noise and visual impacts.

1. Exception – MSSP District. Truck docks are not permitted in the MSSP District. All loading and service shall be accomplished from either Main Street or the alleyways in such a manner as to not impede traffic to the maximum extent practicable.

**I. Building Orientation.**

1. Primary Entrance Toward Public Street. All buildings located along a public street shall be oriented toward, and have their primary entrances toward, the public street.

a. Exception: Minor Use Permit Required. A Minor Use Permit is required pursuant to Chapter 11.5.20: Development Permits for a building located along a public street that is not oriented toward, and does not have their primary entrances toward, the public street.

2. Interior Buildings – Entrance from Sidewalk. All buildings and dwelling units located in the interior of a site shall have entrances from sidewalks that are designed as an extension of the public sidewalk and connect to a public sidewalk

J. **Design Provisions** – Main Street Specific Plan District. All buildings in the Main Street Specific Plan District shall meet the following criteria:

1. Transparency. At sidewalk level, buildings shall be primarily transparent. A minimum of 50% of all first floor facades with street frontage shall consist of pedestrian entrances, display windows or windows affording views into retail, offices, gallery or lobby space. The building wall subject to transparency requirements shall include the portion between three feet and ten feet above the sidewalk. Blank walls should be avoided and lively facades encouraged.

2. Glass. All glass in windows and doorways shall be clear for maximizing visibility into stores. A minimal amount of neutral tinting of glass to achieve some sun control is acceptable if the glass appears essentially transparent when viewed from the outside. Opaque and reflecting glass shall not be used.

3. Window Security Bars. Window security bars shall only be allowed if installed on the interior of the window area.

4. Facade Set-Back. Buildings shall be located on or within 4 feet of the street property line. Exceptions shall be: a) outdoor restaurant seating areas or b) areas where abutting buildings are, as of the effective date of this Title, set back creating in effect continuous store frontages with a wider sidewalk. In the latter case, the abutting buildings' set back shall be considered the equivalent of the property line.

5. Facade Continuity. Building street facades shall be continuous from lot line to lot line. Parking or loading areas shall not abut Main Street or Ocean Avenue frontages.

6. Facade Width. Facades of interconnecting buildings should retain their individual identity. Buildings should not be remodeled or painted to give the appearance of a single building. Any street side building facade exceeding 50 feet in width shall be segmented into individual designs not exceeding 50 feet in width.

7. Trademark Buildings. Trademark buildings used to house a franchise operation shall be prohibited.

K. **Open Space Requirements for Residential Uses.** A minimum of 100 square feet of open space is required per residential unit and may be provided as common or private open space.

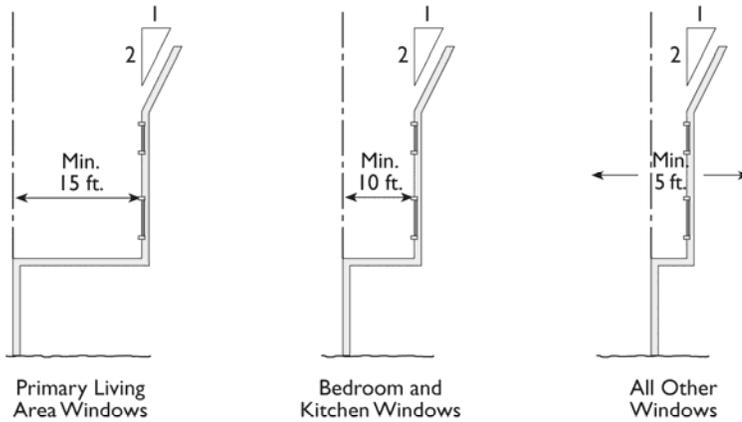
L. **Required Side and Rear Yards for Residential Uses.** In order to provide light and air for residential units, the following minimum setbacks apply for any side or rear yard not fronting a street. When the site is adjacent to a residential district, the standards of subsection 11.2.10.015.D - Minimum Yard Requirements: Building Transition Zone Adjacent to Residential Districts, above also apply, and the project must comply with whichever standard is stricter. The length of the required setbacks must be at least the width of the window plus 3 feet on either side and never less than 10 feet:

1. 5 feet for any wall with windows.
2. 10 feet for any wall with bedroom or kitchen windows.
3. 15 feet for any wall with living room or other primary windows.
4. The building shall be set back 1 foot for every 2 feet of height above 35 feet. See Figure 11.2.10.015.L: Required Side and Rear Yards for Residential Uses in Mixed Use Zones.

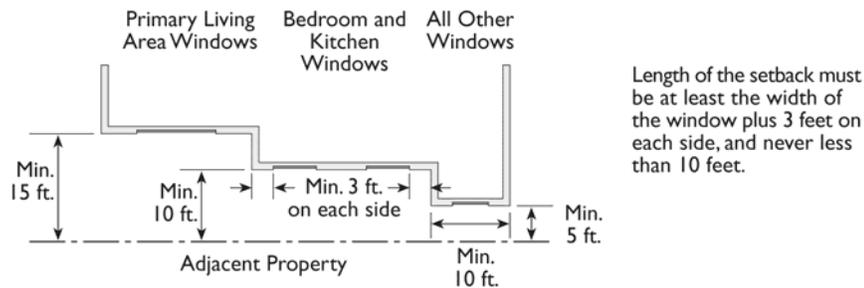
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Figure 11.2.10.015.L  
 Required Side and Rear Yards for Residential Uses in Mixed Use Zones

SECTION



PLAN



M. **Consistency with Design Guidelines, Specific Plans, or Area Plans Adopted by the City Council.** All projects shall be consistent with any design guidelines, planned unit developments, specific plans, or other similar documents that give specific guidance for development on private property and public improvements.

N. **Pedestrian Access to Buildings Set Back from the Street.** If a Minor Use Permit is approved for buildings in the LC/RMD or MSSP districts set back farther than the minimum 10-foot setback requirement, the following standards shall apply:

1. To Neighbors. Direct and convenient access shall be provided from commercial and mixed-use projects to adjoining neighborhood residential and commercial areas. These connections shall remain accessible at all times and not be gated.

2. To Street Network. Pedestrian access from the public right-of-way to the primary uses on the site shall occur as often as necessary to connect the on-site walkways and the public sidewalk. Landscape strips shall be crossed for pedestrian access at regular intervals. When pedestrian access to a site is in the same location as automobile entries (i.e. at driveways), the auto and pedestrian paths shall be separated from each other by a curb. The pedestrian access shall be integrated with the parking lot landscaping so as to provide a shaded walkway.

3. To Transit. Safe and convenient pedestrian connections shall be provided from transit stops to building entrances with public sidewalk and pedestrian walkways. Sidewalk “bulb-outs” or bus “pull-outs” may be required at potential bus stops.

4. Pedestrian Walkway Design.

a. Primary pedestrian routes and access points shall be specially treated and include trees at regular intervals, adequate lighting, and paving that distinguishes pedestrian from automobile areas. A minimum 5-foot wide clear walkway is required to ensure pedestrian safety.

b. All dedicated pedestrian routes, including those through parking areas, shall be separated from automobile routes by a curb.

**O. Projections.**

1. Projections into Required Yards. Projections into required yards are permitted subject to the following standards:

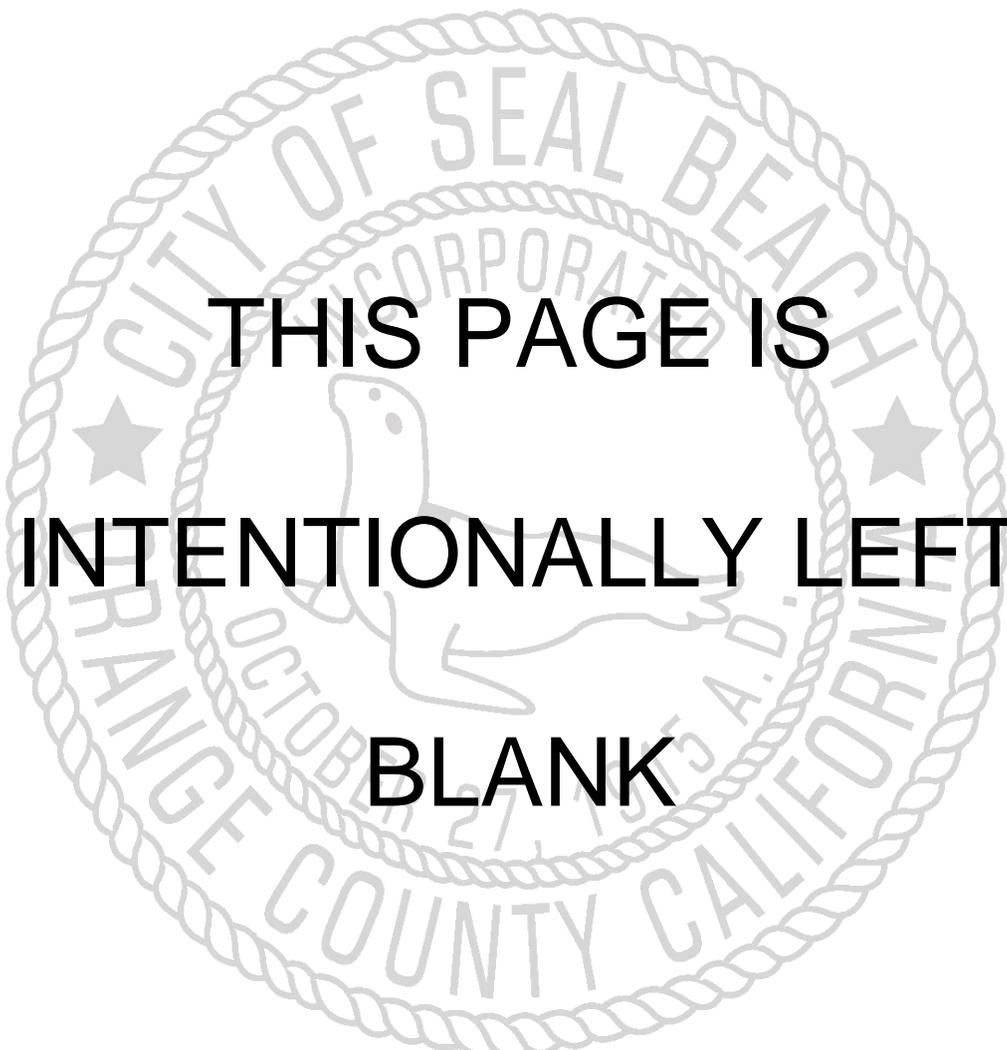
a. Architectural Features. Architectural features, such as bay windows not exceeding 10 feet in length, cornices, eaves, canopies, and chimneys may not extend closer than 3 feet to any side lot line or more than 4 feet into any required front or rear setback.

b. Stairs, Decks, and Balconies. Open uncovered stair landings, decks, and balconies 12 feet or less in length and less than 6 feet above grade may not extend closer than 3 feet to any side lot line or more than 4 feet into any required front or rear setback.

**§ 11.2.10.020 Review of Plans.**

All development is subject to review under the City’s Administrative provisions, found in Part V: *Land Use and Zoning Decisions*, of this Title.

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## Chapter 11.2.15 Light Manufacturing and Oil Extraction Districts

### § 11.2.15.005      **Applicability.**

The provisions of this Chapter are applicable to the following Zoning Code district designations:

**LM:** Light Manufacturing. To allow sites in a business park environment for moderate- to low-intensity commercial services and light manufacturing uses.

**OE:** Oil Extraction. To allow for oil extraction and related production storage and processing, maintenance facilities, and related operational and maintenance facilities.

### § 11.2.15.010      **Land Use Regulations.**

Table 11.2.15.010: *Use Regulations – Light Manufacturing and Oil Extraction Districts* prescribes the land use regulations for the Light Manufacturing and Oil Extraction districts. The regulations for each district are established by letter designations as follows:

“**P**” – Uses permitted as-of-right that require no discretionary review if in compliance with all standards.

“**L**” – Uses permitted as-of-right subject to limitations restricting location, size, or other characteristics to ensure compatibility with surrounding uses. Limitations are referenced by number designations listed at the end of Table 11.2.15.010: *Use Regulations – Light Manufacturing and Oil Extraction Districts*.

“**M**” – Uses subject to a Minor Use Permit following discretionary review by the Planning Commission pursuant to Chapter 11.5.20: *Development Permits*.

“**C**” – Uses subject to a Conditional Use Permit following discretionary review and public hearing by the Planning Commission pursuant to Chapter 11.5.20: *Development Permits*.

“**--**” – Uses that are not permitted.

The “*Additional Regulations*” column includes specific regulations applicable to the use classification, and specifies regulations located elsewhere in this Zoning Code. Use classifications are defined in Chapter 11.4.85: *Use Classifications*. Use classifications not listed in Table 11.2.15.010: *Use Regulations – Light Manufacturing and Oil Extraction Districts* are prohibited.

**TABLE 11.2.15.010  
USE REGULATIONS –  
LIGHT MANUFACTURING AND OIL EXTRACTION DISTRICTS**

	<i>LM</i>	<i>OE</i>	<i>Additional Regulations</i>
<b>Light Manufacturing Use Types</b>			
Contractors' Yards	C	--	
Drilling Operations	--	C	Limited to the extraction of oil, gas, or other hydrocarbon products
Handicraft/Custom Manufacturing	P	--	
Manufacturing, Light	P	--	
Manufacturing, Medium	P	--	
Maintenance Yards, Outside	C	C	See Section 11.4.05.090
Separation Facilities	--	C	Limited to oil and gas separation facilities.
Storage Tanks	M	C	
Veterinary Hospital	M	--	
Warehousing and Storage	P	--	
<i>Indoor Commercial Storage</i>	P	--	
<i>Outdoor Storage</i>	C	--	See Section 11.4.05.090
<i>Personal Storage</i>	C	--	
<b>Transportation, Communication and Utility Use Types</b>			
Wireless Communication Facilities			See Chapter 11.4.70: <i>Wireless Telecommunications Facilities</i>
<i>Antennae and Transmission Towers</i>	C	C	
<i>Satellite dishes less than 79" in diameter</i>	P	P	
Recycling Facilities			
<i>Recycling Collection Point</i>	C	--	
<i>Recycling Processing Facility</i>	C	--	
<i>Reverse Vending Machines</i>	P	--	
Utilities, Major	M	M	See Chapter 11.4.60: <i>Hazardous Waste Facilities</i>
<i>Hazardous Waste Facility</i>	C	--	
Utilities, Minor	M	M	
Wireless Communication Facilities			See Chapter 11.4.70: <i>Wireless Telecommunications Facilities</i>
<b>Agriculture Use Types</b>			
Nurseries	P	--	
<b>Other Applicable Use Regulations</b>			
Accessory Use	See Section 11.4.05.010: <i>Accessory Business Uses and Activities</i>		
Temporary Use	See Chapter 11.5.25: <i>Director Determinations</i>		

**§ 11.2.15.015 Development Standards.**

Table 11.2.15.015: *Development Standards – Light Manufacturing and Oil Extraction Districts* prescribes the development standards for the light manufacturing and oil extraction districts. The “*Additional Regulations*” column indicates more detailed explanations or regulations that follow the table (by letter designation) or that are located elsewhere in this Zoning Code.

<b>TABLE 11.2.15.015 DEVELOPMENT STANDARDS – LIGHT MANUFACTURING AND OIL EXTRACTION DISTRICTS</b>			
	<b>LM</b>	<b>OE</b>	<b>Additional Regulations</b>
<b>Lot Size and Density</b>			
Minimum Lot Size (sq. ft.)	10,000	--	
<i>Width</i>	100		
<i>Depth</i>	100		
Maximum Floor Area Ratio	5.0		
<b>Building Form and Location</b>			
Maximum Building Height (ft.)		--	
<i>Site less than 10 acres</i>	35		
<i>Site more than 10 acres</i>	75		
Accessory Structure (ft)		--	
<i>Site less than 10 acres</i>	15		
<i>Site more than 10 acres</i>	20		
Minimum Yard Requirements (ft)			
<i>Front Yard</i>	15		
<i>Side Yard</i>			
<i>Abutting Street</i>	15		
<i>Interior Lot Line</i>	15		
<i>Rear Yard</i>			
<i>Abutting Street</i>	15		
<i>Interior Lot Line</i>	15		
<b>Landscaping and Open Space</b>			
Minimum lot area to be landscaped	10%	10%	
Minimum required front yard to be landscaped	70%	--	
<b>Other Applicable Development Regulations</b>			
Accessory Use	See Section 11.4.05.010: <i>Accessory Business Uses and Activities</i>		
Temporary Use	See Chapter 11.5.25: <i>Director Determinations</i>		

A. **Use Permit Development Standards.** If a use permit is required, the Minor Use Permit or Conditional Use Permit shall establish all final development standards.

B. **Consistency with Design Guidelines, Specific Plans, or Area Plans Adopted by the City Council.** All projects shall be consistent with any design guidelines, planned unit developments, specific plans, or other similar documents that give specific guidance for development on private property and public improvements.

C. **Projections.**

1. Projections into Required Yards. Projections into required yards are permitted subject to the following standards:

a. Architectural Features. Architectural features may not extend closer than 3 feet to any side lot line and not more than 4 feet into any required front or rear setback.

b. Stairs, Decks, and Balconies. Open uncovered stair landings, decks and balconies 12 feet or less in length and less than 6 feet above grade may not extend closer than 3 feet to any side lot line and not more than 4 feet into any required front or rear setback.

D. **Other Applicable Development Regulations.** The following regulations shall also apply:

- |  |                     |
|--|---------------------|
| <input type="checkbox"/> General Site Standards                    | See Chapter 11.4.10 |
| <input type="checkbox"/> Fences, Hedges, and Walls                 | See Chapter 11.4.15 |
| <input type="checkbox"/> Off-Street Parking and Loading            | See Chapter 11.4.20 |
| <input type="checkbox"/> Sign Regulations                          | See Chapter 11.4.25 |
| <input type="checkbox"/> Landscaping and Buffer Yards              | See Chapter 11.4.30 |
| <input type="checkbox"/> Coastal Development Permit                | See Chapter 11.4.35 |
| <input type="checkbox"/> Non-conforming Uses, Structures, and Lots | See Chapter 11.4.40 |

**§ 11.2.15.020 Review of Plans.**

All development is subject to development review under the City's Administrative provisions found in Part V: *Land Use and Zoning Decisions*, of this Zoning Code.

\* \* \* \* \*

## Chapter 11.2.20 Public and Semi-Public Facilities Districts

### § 11.2.20.005      **Applicability.**

The provisions of this Chapter are applicable to the following Zoning Code district designations:

**PS:** Public and Semi-Public. To allow appropriate public uses, including private utilities (electrical, gas, water, and telecommunications), schools (both private and public), and other city, county, state, or federal facilities.

**RG:** Recreational Golf. To allow golf courses and associated club houses, maintenance facilities, accessory concession sales, and related plant nurseries.

### § 11.2.20.010      **Land Use Regulations.**

Table 11.2.20.010: *Use Regulations – Public and Semi-Public Facilities Districts*, prescribes the land use regulations for the public and semi-public facilities districts. The regulations for each district are established by letter designations as follows:

**“P”** – Uses permitted as-of-right that require no discretionary review if in compliance with all standards.

**“L”** – Uses permitted as-of-right subject to limitations restricting location, size, or other characteristics to ensure compatibility with surrounding uses. Limitations are referenced by number designations listed at the end of Table 11.2.20.010: *Use Regulations – Public and Semi-Public Facilities Districts*.

**“M”** – Uses subject to a Minor Use Permit following discretionary review by the Planning Commission pursuant to Chapter 11.5.20: *Development Permits*.

**“C”** – Uses subject to a Conditional Use Permit following discretionary review and public hearing by the Planning Commission pursuant to Chapter 11.5.20: *Development Permits*.

**“--”** – Uses that are not permitted.

The *“Additional Regulations”* column includes specific regulations applicable to the use classification and specifies regulations located elsewhere in this Zoning Code. Use classifications are defined in Chapter 11.4.85: *Use Classifications*. Use classifications not listed in Table 11.2.20.010: *Use Regulations – Public and Semi-Public Facilities Districts* are prohibited.

**TABLE 11.2.20.010  
USE REGULATIONS – PUBLIC AND  
SEMI-PUBLIC FACILITIES DISTRICTS**

	<i>PS</i>	<i>RG</i>	<i>Additional Regulations</i>
<b>Residential Use Types</b>			
Single-Unit Residential	--	C	See Chapter 11.2.05 and only in conjunction with a golf course
Multiple-Unit Residential	--	C	See Chapter 11.2.05 and Section 11.4.05.110 and only in conjunction with a golf course
<b>Public, Semi-Public, and Service Use Types</b>			
Cemeteries	C	--	
Clubs and Lodges	C	--	Limited to facilities for nonprofit organizations and governmental buildings and uses.
Community Center	C	--	
Community Social Service Facilities	--	--	
Cultural Institutions	C	--	
Day Care Centers	C	P	P - Only in conjunction with a golf course facility
Government Offices	C	--	
Park and Recreation Facilities	P	P	
Parking Facilities, Public	L-1	L-2	See Chapter 11.4.20: <i>Off-Street Parking and Loading</i>
Public Maintenance and Service Facilities	M	--	
Public Safety Facilities	M	--	
<b>Commercial Use Types</b>			
Driving Range	--	C	Only as an accessory use, when in connection with a private golf course.
Eating and Drinking Establishments	--		
<i>Restaurants, Full Service Restaurants, Limited Service Restaurants, Take Out Only</i>	C	C	Only as an accessory use, when in connection with a club, lodge, or private golf course. See also Sections 11.4.05.015 and 11.4.05.090.
Golf Course, Private	--	C	
<i>Clubhouse</i>	--	C	

<b>TABLE 11.2.20.010 (Continued)</b>			
<b>USE REGULATIONS – PUBLIC AND SEMI-PUBLIC FACILITIES DISTRICTS</b>			
	<b>PS</b>	<b>RG</b>	<b>Additional Regulations</b>
<b>Commercial Use Types</b> (continued)			
<i>Conference Facilities</i>	--	C	
<i>Parking Facilities</i>	--	P	See Chapter 11.4.20: <i>Off-Street Parking and Loading</i>
Personal Improvement Services	--	C	Only as an accessory use, when in connection with a club, lodge, or private golf course.
<b>Transportation, Communication, and Utility Use Types</b>			
Communication Facilities			See Chapter 11.4.70: <i>Wireless Telecommunications Facilities</i>
Utilities, Major	C	C	
Utilities, Minor	C	C	
<b>Other Applicable Use Regulations</b>			
Accessory Use	See Section 11.4.05.010: <i>Accessory Business Uses and Activities</i>		
Nonconforming Use	See Chapter 11.4.40: <i>Nonconforming Uses, Structures, and Lots</i>		
Temporary Use	See Chapter 11.5.25: <i>Director Determinations</i>		
L-1: Limited to facilities related to, and in conjunction with, authorized public and semipublic facilities; otherwise requires a use permit.			
L-2: Limited to facilities related to, and in conjunction with, authorized private golf course; otherwise requires a use permit			

**§ 11.2.20.015 Development Standards.**

**A. Applicable Base District.**

1. Generally. The regulations of the surrounding base district shall serve as a guide for establishing appropriate development regulations.
2. Use Different From Base District Uses. In cases where structures or components of the proposed use are not addressed by the regulations of the base district, the Director may require compliance with development standards from other base districts.
3. Multiple Base Districts. In cases where there is more than one base district surrounding or abutting the property, the Director shall determine which base district regulations shall apply.

4. Director Determination. Applicants should request a Director Determination of the applicable base district, pursuant to Section 11.5.25.010: Zoning Conformance Review Procedures, prior to preparing an application for development. Applicants may also request an optional pre-application review as described in Chapter 11.5.10: General Procedures.

B. **Use Permit Development Standards.** If a use permit is required, the Minor Use Permit or Conditional Use Permit shall establish all final development standards.

C. **Other Applicable Development Regulations.** The following regulations shall also apply:

- |  |                     |
|--|---------------------|
| <input type="checkbox"/> General Site Standards                    | See Chapter 11.4.10 |
| <input type="checkbox"/> Fences, Hedges, and Walls                 | See Chapter 11.4.15 |
| <input type="checkbox"/> Off-Street Parking and Loading            | See Chapter 11.4.20 |
| <input type="checkbox"/> Sign Regulations                          | See Chapter 11.4.25 |
| <input type="checkbox"/> Landscaping and Buffer Yards              | See Chapter 11.4.30 |
| <input type="checkbox"/> Coastal Development Permit                | See Chapter 11.4.35 |
| <input type="checkbox"/> Non-conforming Uses, Structures, and Lots | See Chapter 11.4.40 |

#### **§ 11.2.20.020 Review of Plans.**

All development is subject to development review under the City's Administrative provisions found in Part V: *Land Use and Zoning Decisions* of this Zoning Code.

\* \* \* \* \*

## Chapter 11.2.25 Open Space, Parks, and Recreation Districts

### § 11.2.25.005      **Applicability.**

The provisions of this Chapter are applicable to the following Zoning Code district designations:

**OS-N:** Open Space - Natural. To preserve publicly owned parklands, environmentally sensitive lands and habitats in their natural state. Uses permitted shall be limited to those that maintain the property in its natural state.

**OS-PR:** Open Space - Parks and Recreation. To provide appropriately located areas for recreation and recreational uses. Uses permitted shall be limited to those that are devoted to public recreation including parks, playgrounds, swimming centers, tennis and basketball courts, golf courses, community centers within the facilities, and accessory concession sales.

### § 11.2.25.010      **Limits on Calculation of Parks.**

No privately owned parks located in the OS-PR district shall be counted towards parklands or other publicly accessible open space areas required by the General Plan.

### § 11.2.25.015      **Land Use Regulations.**

Table 11.2.25.015 prescribes the land use regulations for open space and parks districts. The regulations for each district are established by letter designations as follows:

**“P”** – Uses permitted as-of-right that require no discretionary review if in compliance with all standards.

**“L”** – Uses permitted as-of-right subject to limitations restricting location, size, or other characteristics to ensure compatibility with surrounding uses. Limitations are referenced by number designations listed at the end of Table 11.2.25.015: *Use Regulations – Open Space and Parks Districts.*

**“M”** – Uses subject to a Minor Use Permit following discretionary review by the Planning Commission pursuant to Chapter 11.5.20: *Development Permits.*

**“C”** – Uses subject to a Conditional Use Permit following discretionary review and public hearing by the Planning Commission pursuant to Chapter 11.5.20: *Development Permits.*

**“--”**– Uses that are not permitted.

The “*Additional Regulations*” column includes specific regulations applicable to the use classification and specifies regulations located elsewhere in this Zoning Code. Use classifications are defined in Chapter 11.4.85: Use Classifications. Use classifications not listed in Table 11.2.25.015: *Use Regulations – Open Space and Parks Districts* are prohibited.

<b>TABLE 11.2.25.015 USE REGULATIONS – OPEN SPACE AND PARKS DISTRICTS</b>			
	<b>OS - N</b>	<b>OS - PR</b>	<b><i>Additional Regulations</i></b>
<b>Public, Semi-Public, and Service Use Types</b>			
Cemeteries	--	C	
Clubs and Lodges	--	--	
Community Center	--	L-1	
Cultural Institutions	--	C	See Section 11.4.05.080
Day Care Centers	--	C	See Section 11.4.05.045
Park and Recreation Facilities	L-2	P	
Parking Facilities, Public	L-1	L-1	See Chapter 11.4.20: <i>Off-street Parking and Loading</i>
Public Safety Facilities	M	M	For the accommodation of operations which are essential to the maintenance of public safety, including fire stations.
<b>Commercial Use Types</b>			
Commercial Recreation			
<i>Large-Scale (Greater Than 20,000 Sq. Ft.)</i>	--	C	
<i>Small-Scale (Less Than 20,000 Sq. Ft.)</i>	--	M	
Eating and Drinking Establishments			

<b>TABLE 11.2.25.015 (Continued)</b>			
<b>USE REGULATIONS – OPEN SPACE AND PARKS DISTRICTS</b>			
	<i>OS - N</i>	<i>OS - PR</i>	<b><i>Additional Regulations</i></b>
<b>Commercial Use Types</b>			
<i>Restaurants, Full Service Restaurants, Limited Service Restaurants, Take Out Only</i>	--	M	Limited only to concessions for snacks and beverages as an accessory use in connection with any other authorized use. See also Section 11.4.05.090: <i>Outdoor Dining, Display and Sales Standards</i>
Food and Beverage Sales			
<i>Convenience Market</i>	--	M	Limited only to concessions for snacks and beverages as an accessory use in connection with any other authorized use.
<i>General Market</i>	--	M	Limited only to concessions for snacks and beverages as an accessory use in connection with any other authorized use.
<b>Transportation, Communication, and Utility Use Types</b>			
Communication Facilities	--	C	See Chapter 11.4.70: <i>Wireless Telecommunications Facilities</i>
Utilities, Major	C	C	
Utilities, Minor	M	M	

<b>TABLE 11.2.25.015 (Continued)</b>			
<b>USE REGULATIONS – OPEN SPACE AND PARKS DISTRICTS</b>			
	<b>OS - N</b>	<b>OS - PR</b>	<b>Additional Regulations</b>
<b>Agricultural Use Types</b>			
Crop Raising	M	M	
Nurseries	L-1	L-1	
<b>Other Use Types</b>			
Accessory Use	See Section 11.4.05.010: <i>Accessory Business Uses and Activities</i>		
Temporary Use	See Chapter 11.5.25: <i>Director Determinations</i>		
<p>L-1: Limited to facilities related to and in conjunction with park and public recreational facilities. Otherwise, requires a Conditional Use Permit.</p> <p>L-2: Limited to trails, wildlife preserves, and open space uses that maintain the property in its natural state. No building, structure, or improvements shall be constructed in these areas, except for those required for public access, public restrooms, interpretative and educational facilities, public signage, trash containers, parking facilities, and facilities needed for protecting environmental resources and general upkeep and maintenance of the property.</p>			

**§ 11.2.25.020 Development Standards.**

**A. Applicable Base District.**

1. Generally. The regulations of the surrounding base district shall serve as a guide for establishing appropriate development regulations.
2. Use Different From Base District Uses. In cases where structures or components of the proposed use are not addressed by the regulations of the base district, the Director may require compliance with development standards from other base districts.
3. Multiple Base Districts. In cases where there is more than one base district surrounding or abutting the property, the Director shall determine which base district regulations shall apply.
4. Director Determination. Applicants should request a Director Determination of the applicable base district pursuant to Section 11.5.25.010: Zoning Conformance Review Procedures prior to preparing an application for development. Applicants may also request an optional pre-application review as described in Chapter 11.5.10: General Procedures.

B. **Use Permit.** If a use permit is required, the Minor Use Permit or Conditional Use Permit shall establish all final development standards.

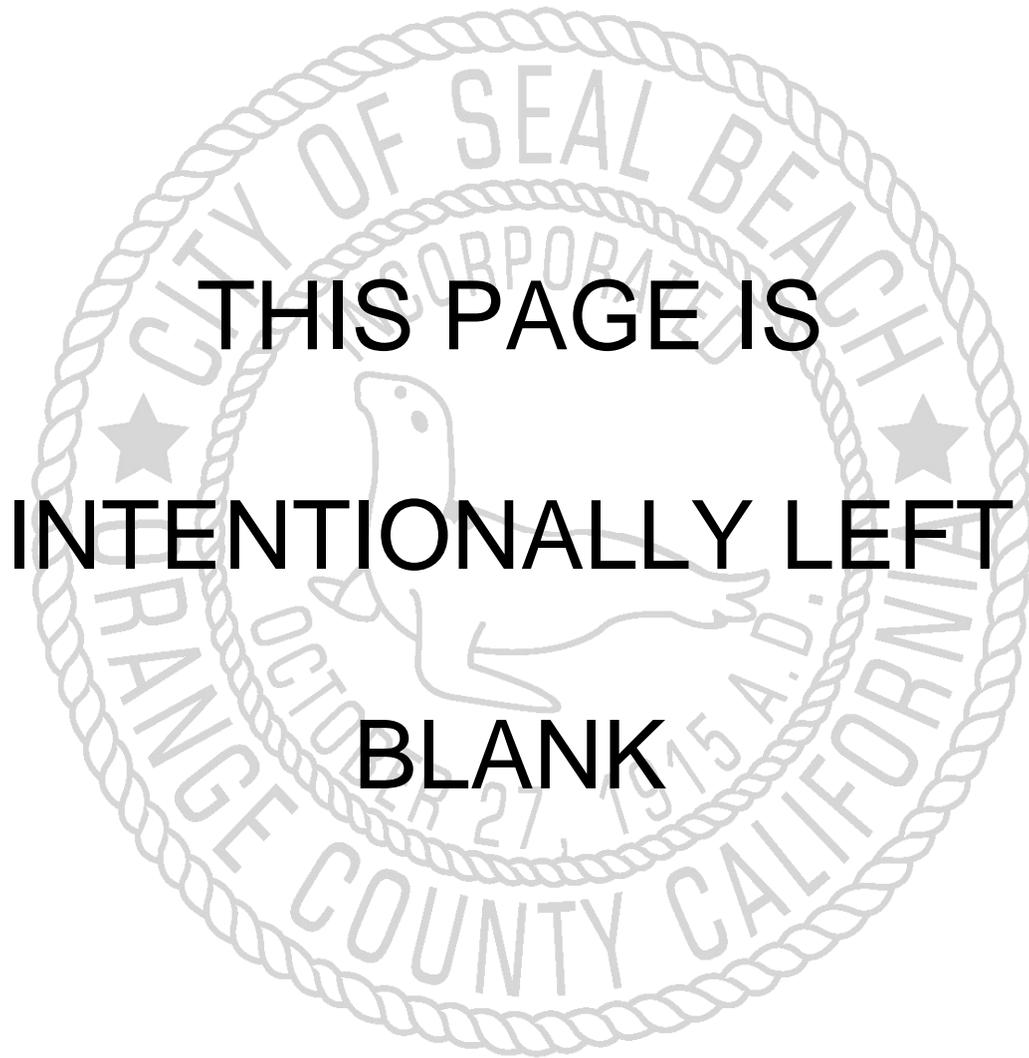
C. **Other Applicable Development Regulations.** The following regulations shall also apply:

- |  |                     |
|--|---------------------|
| <input type="checkbox"/> General Site Standards                    | See Chapter 11.4.10 |
| <input type="checkbox"/> Fences, Hedges, and Walls                 | See Chapter 11.4.15 |
| <input type="checkbox"/> Off-Street Parking and Loading            | See Chapter 11.4.20 |
| <input type="checkbox"/> Sign Regulations                          | See Chapter 11.4.25 |
| <input type="checkbox"/> Landscaping and Buffer Yards              | See Chapter 11.4.30 |
| <input type="checkbox"/> Coastal Development Permit                | See Chapter 11.4.35 |
| <input type="checkbox"/> Non-conforming Uses, Structures, and Lots | See Chapter 11.4.40 |

**§ 11.2.25.025 Review of Plans.**

All development is subject to development review under the City's Administrative provisions, found in Part V: *Land Use and Zoning Decisions* of this Zoning Code.

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